

KFC MARKET STREET

5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

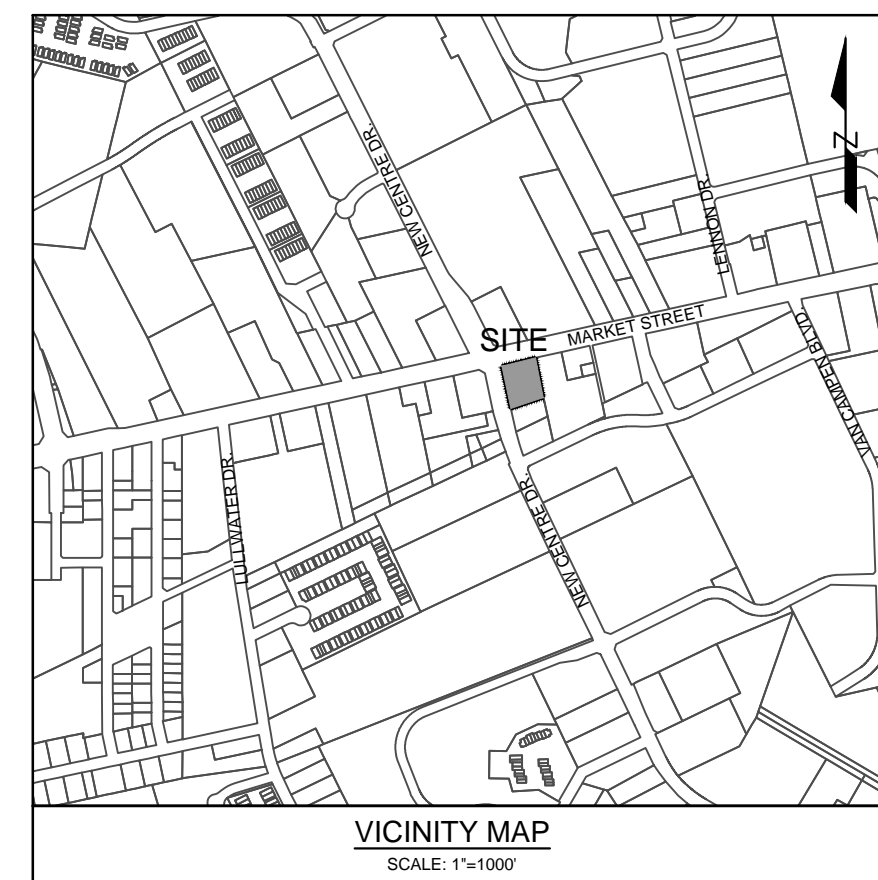
DESIGN DRAWINGS

JULY 2019

FOR

SCOTTISH FOOD SYSTEMS, INC.

P.O. BOX 1469
LAURINBURG, NC 28532



NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-342-2782

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
PH: 910-256-7223
DEP CSC PH: 1-800-452-2777

AT&T/BELL SOUTH
ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

TIME WARNER CABLE
PH: 910-763-4838



Know what's below.
Call before you dig.

KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA


PROJECT # 18474.PE

JULY 2019

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	GENERAL NOTES
C-1.1	EXISTING SITE INVENTORY
C-2.0	SITE & UTILITY PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0 - C4.1	EROSION CONTROL PLAN
C-5.0 - C5.5	DETAILS
L-1.0	LANDSCAPE PLAN

APPROVALS:


 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CONSULTANTS:

APPLICANT:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28532


ENGINEER / LANDSCAPE ARCHITECT:

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: JEREMY BLAIR P.E.
MIKE NICHOLS, RLA
PHONE: (910) 791-6707

SURVEYOR:

SURVEY MATTERS, LLC
107 HILLCREST AVENUE
SIMPSONVILLE, SOUTH CAROLINA 29681
ATTN: NICK MANSFIELD, PLS
PHONE: (864) 451-0176

PREPARED BY:


 122 Cinema Drive Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

COORDINATION NOTES:

- 1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/all PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- 2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CAPE FEAR PUBLIC UTILITY AUTHORITY (CPFA), AND THE STATE OF NORTH CAROLINA.
- 3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPLY WITH THE LAYOUT OF THE ENTIRE SITE PLANS IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT SITUATIONS.
- 4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND DETAILS.

- GENERAL NOTES:**
- 1. TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY SURVEY MATTERS, LLC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER. OWNERS REPRESENTATIVE AND/OR PARAMOUNT ENGINEERING, INC. IMMEDIATELY. CONTRACTOR SHALL VERIFY THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS PROVIDED FOR ALL UTILITY CONNECTIONS, STORM CONNECTIONS, GRADING TIE INS, ETC. AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
 - 2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
 - 3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
 - 4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS ALL THINGS ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT" TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
 - 5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OFF-SITE.
 - 6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
 - 3. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 362-4949 AN ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

- DEMOLITION NOTES:**
- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
 - 2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
 - 3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES, ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
 - 4. CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO ADJACENT PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED AND RISK BY THE CONTRACTOR AT HIS COST TO OWNER.
 - 5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
 - 6. THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARD, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
 - 7. EXISTING CURBS AND GUTTERS, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
 - 8. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
 - 9. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
 - 10. PROVIDE SMOOTH SURF CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
 - 11. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
 - 12. EXISTING FIRE HYDRANTS OR ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
 - 13. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

- TRAFFIC NOTES:**
- 1. ALL PAYMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
 - 2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES STANDARDS.
 - 3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - 4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - 5. ANY OPEN CUTTING OF A CITY STREET REQUIRES A UTILITY CUT PERMIT. CONTACT 341-9888 FOR MORE DETAILS. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - 6. CONTACT TRAFFIC ENGINEERING, AT 341-7890 TO ENSURE THAT ALL TRAFFIC SIGNAL, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RW.
 - 7. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND/OR CURBING SHALL BE REPAIRED.
 - 8. TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR STOPS.
 - 9. A LANDSCAPING PLAN, INDICATING THE LOCATION OF REQUIRED STREET-VARD PLANTINGS SHALL BE PROVIDED FOR REVIEW OF SIGHT DISTANCES AND ANY OTHER REQUIREMENTS OF TRAFFIC ENGINEERING.
 - 10. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES (CONT.):**
- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RAINOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
 - 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). NEW HANOVER COUNTY'S FINAL APPROVAL IS REQUIRED.
 - 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
 - 14. WHEN CROSSING CREEK OR DRAINAGE WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANK AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

- MAINTENANCE PLAN:**
- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINOFF. PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
 - 2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF AS STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
 - 3. SEDIMENT WILL BE REMOVED BEFORE THE SEDIMENT FENCE WHEN IT BECOMES 10 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BANDING IS USED WITH 8 FOOT STAKE SPACING.
 - 4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
 - 5. INLET PROTECTION - INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (6 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.
 - 6. SEDIMENT BASIN/DETENTION TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
 - 7. SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, AND DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS EMPTY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION TO WATER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
 - 8. OUTLET PROTECTION - INSPECT RIP-RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (6 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AND/OR BELOW THE RIP-RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOADED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
 - 9. EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BASINS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY Voids IN THE RIP-RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
 - 10. GRASS SWALES - INSPECT SWALES WEEKLY AND AFTER EVERY RAINFALL EVENT. AFTER GRASS HAS BEEN ESTABLISHED INSPECT THE SWALES PERIODICALLY AND AFTER EVERY HEAVY (6 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF SLOTTING OR SCOUR HAZARDS. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. KEEP THE GRASS IN A HEALTHY, VIGOROUS CONDITION AT ALL TIMES, SINCE IT IS THE PRIMARY EROSION PROTECTION FOR THE CHANNEL.
 - 11. CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH CLEAN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

- PERMANENT SEEDING SCHEDULE - MIXTURE SCP**
- Seeding Mixture
- | SPECIES | RATE (LB/ACRE) |
|-----------------|----------------|
| CENTPEEDE GRASS | 10-20 |
- Seeding Dates
- MARCH - JUNE
- Soil Amendments
- APPLY LIQUID AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.
- Mulch
- DO NOT MULCH.
- Maintenance
- FERTILIZE VERY SPRINGLY -20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

- TEMPORARY SEEDING-LATE WINTER/EARLY SPRING**
- Seeding Mixture
- | SPECIES | RATE (LB/ACRE) |
|---|----------------|
| RYE (GRASS) | 120 |
| ANNUAL LESPEDEZA (KOBIE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS) | 50 |
- OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE.
- Soil amendments
- FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.
- Mulch
- APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.
- Maintenance
- REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

- EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:**
- NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.
- 1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES), ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
 - 2. CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
 - 3. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
 - 4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
 - 5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
 - 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
 - 7. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL.
 - 8. UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
 - 9. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED, AND PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- 1. THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DMES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
 - 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
 - 3. THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
 - 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
 - 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
 - 6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREA STAGING OR STORAGE AREAS, THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT). THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
 - 7. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
 - 8. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
 - 9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEDED AS INDICATED AND STABILIZED.
 - 10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FLEETING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

- GENERAL UTILITY NOTES:**
- 1. ALL PROPOSED UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.
 - 2. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
 - 3. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
 - 4. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.
- STORM WATER NOTES:**
- 1. TOTAL SITE AREA = 34,993 AC
 - 2. DISTURBED AREA = SEE EROSION CONTROL PLANS
 - 3. ALLOCATED IMPERVIOUS AREA DRAINING TO STORMWATER SYSTEM = 1,084.49 SF (24.90 AC)
 - 4. RECEIVING STREAM - BARNAARDS CREEK (6" S&W)
- WETLAND NOTES:**
- 1. NO WETLANDS EXISTS ON THIS SITE.
- ROOF DRAIN NOTE:**
- 1. PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.
- EXISTING UTILITY NOTES:**
- 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
 - 2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- STABILIZATION TIME FRAMES:**
- IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.
- | NPDES WATER QUALITY STABILIZATION TIME FRAMES | | | |
|---|---------------|---|------------|
| SITE AREA DESCRIPTION | STABILIZATION | TIMEFRAME | EXCEPTIONS |
| PERIMETER DMES, SWALES, DITCHES AND SLOPES | 7 DAYS | NONE | |
| HIGH QUALITY WATER (H2O) ZONES | 7 DAYS | NONE | |
| SLOPES STEEPER THAN 3:1 | 7 DAYS | IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED | |
| SLOPES 3:1 OR FLATTER | 14 DAYS | 7 DAYS FOR SLOPES GREATER THAN 90' IN LENGTH | |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS | NONE, EXCEPT FOR PERIMETERS AND H2O ZONES | |
- NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE:**
- DESICATED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITH TWENTY ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.
- NPDES BUILDING WASTES HANDLING:**
- 1. NO PART OF LIQUID WASTES IN STREAM OR STORM DRAINS.
 - 2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES ARE AVAILABLE.
 - 3. EARTHEN MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES ARE AVAILABLE.
 - 4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.
- NPDES INSPECTIONS:**
- 1. SAME WEEKLY INSPECTION REQUIREMENTS.
 - 2. SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
 - 3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
 - 4. INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
 - 5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
 - 6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.
- NPDES SEDIMENT BASINS:**
- 1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
 - 2. USE ONLY DWD-APPROVED FLOCCULANTS.
- NPDES - SPECIFIC PLAN SHEETS NOTES:**
- 1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
 - 2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
 - 3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
 - 4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE NPDES PORTION OF THIS PAGE OF THE PLANS AND THEY ARE NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.
- FIRE AND LIFE SAFETY NOTES:**
- 1. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - 2. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
 - 3. HYDRANT MUST BE WITHIN 150' OF THE FDC MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE).
 - 4. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPERE THE FDC OR FIRE HYDRANTS - A 3' FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 - 5. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0066.
 - 6. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 - 7. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 - 8. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
 - 9. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONSE RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 FIRE CODE.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____


For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Professional Seal redacted on electronic copy per City of Wilmington Policy

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____



Public Services • Engineering Division

GENERAL NOTES

PROJECT STATUS

CONCEPTUAL LAYOUT: _____

PRELIMINARY LAYOUT: _____

RELEASE FOR PERMIT: _____

RELEASE FOR CONSTRUCTION: _____

DRAWING INFORMATION

DATE: 08/17/2019

NOT TO SCALE

ASB

ASR

CRB

PEI JOB#: 18474.PE

REVISIONS:

NO.	DESCRIPTION	DATE
1	RESPONSE TO TRC AND CPFLA COMMENTS	07/19/19

CLIENT INFORMATION:

PARAMOUNT ENGINEERING, INC.

SCOTISH FOOD SYSTEMS, INC.

P.O. BOX 1469

LAURINBURG, NC 28552

122 Cinema Drive

Wilmington, North Carolina 28403

(910) 791-6707 (O) (910) 791-6760 (F)

N.C. License #: C-2846



LOCATION MAP
SCALE: 1"=500'

SITE INFORMATION
OWNER INFORMATION: LAURINBURG KFC TAKE HOME, INC.
P.O. BOX 1469
LAURINBURG, NC 28353

APPLICANT INFORMATION: SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURENBURG, NC 28532

PROJECT ADDRESS: 5122 MARKET STREET
WILMINGTON, NC 28405

TAX PARCEL IDENTIFICATION #: R04915-002-002-000
RECORDED DEED BOOK: DB 6193 PG 2241

CURRENT ZONING: RB - REGIONAL BUSINESS
EXISTING USE: 601-FINANCE BANKS
PROPOSED USE: RESTAURANT - FAST FOOD

TOTAL SITE AREA: 0.89 ACRES +/- (38,768 SF +/-)

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313800 K, DATED AUGUST 28, 2018
THERE IS NO FEMA 100-YEAR FLOODPLAIN LINE WITHIN THE PROJECT AREA

CAMA LAND USE CLASSIFICATION: URBAN

EXISTING EASEMENTS OR OVERLAY DISTRICTS
SEE PLAN FOR LOCATIONS AND DESCRIPTIONS OF PRIVATE EASEMENTS

THERE ARE NO SPECIAL OVERLAY DISTRICTS IDENTIFIED ON THIS PROPERTY

UNDERGROUND INFRASTRUCTURE NOTES
GENERAL LOCATIONS AND SIZES OF WATER, SEWER, STORM DRAIN LINES, FIRE HYDRANTS AND SEWER LINES ARE SHOWN ON THE PLAN

GENERAL NOTES

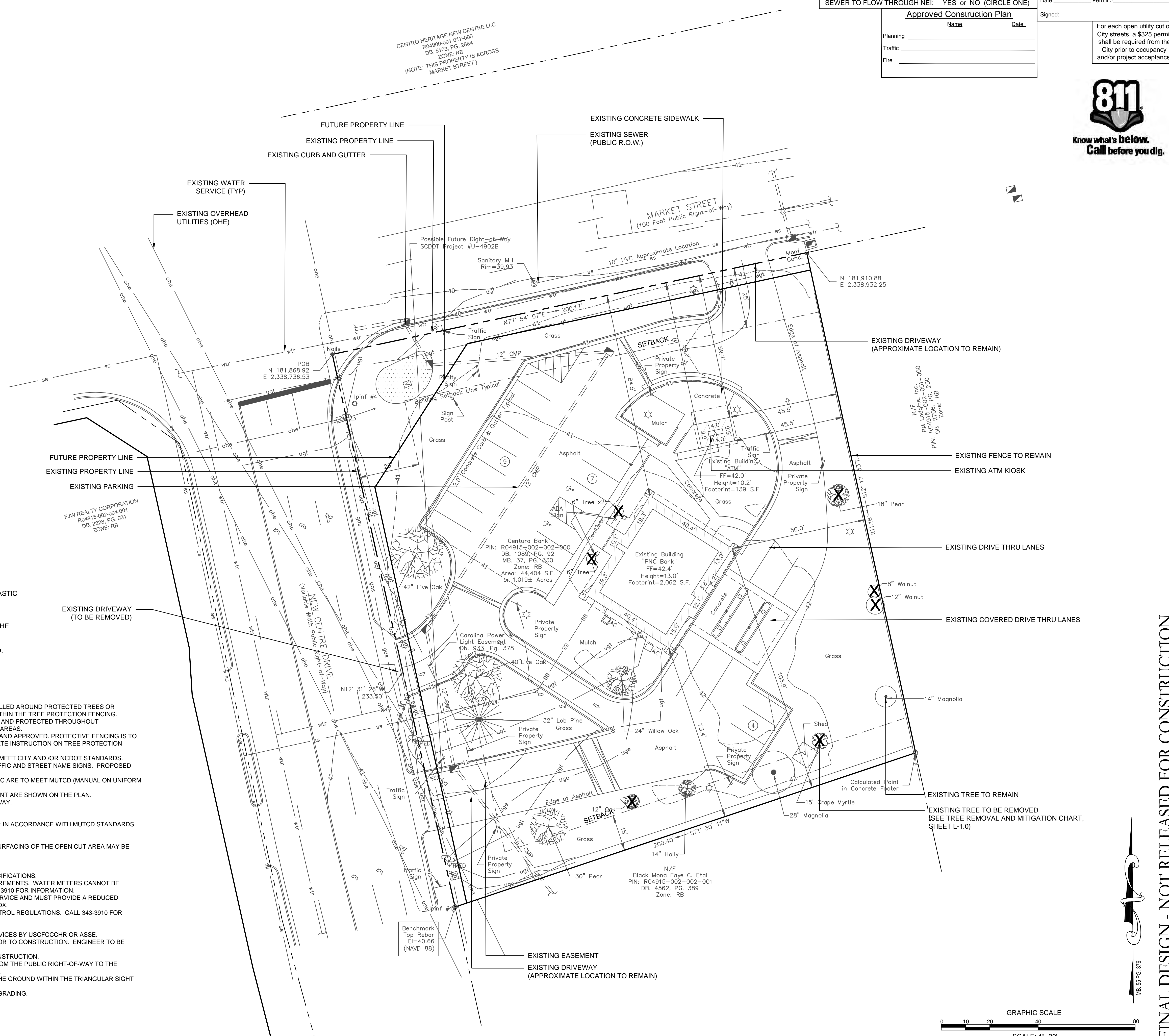
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN AND SITE INVENTORY PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
7. PROPERTY NOT LOCATED WITHIN A HIGHWAY OVERLAY DISTRICT.

CITY STANDARD NOTES

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
5. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS PRIOR TO ACTUAL STRIPING.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
7. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES ENTIRE RESURFACING OF THE OPEN CUT AREA MAY BE REQUIRED.
15. ANY BROKEN OR MISSING SIDEWALK OR DRIVEWAY PANELS OR CURBING WILL BE REPLACED.
16. CONTACT THE CITY AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
19. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 343-3910 FOR INFORMATION.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCFCCCHR OR ASSE.
23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATION, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
24. CONTRACTOR SHALL MAINTAIN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910.341.0698.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
27. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO ANY DIGGING, CLEARING OR GRADING.

TREE REMOVAL LEGEND

X = EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL AND REQUIRED MITIGATION CHART, SHEET C-2.0)



NC DENR PWSS WATER PERMIT #: _____ GPD
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

1. TRC - RESPONSE TO COMMENTS	1/26/19
2. PER CITY ENGINEERING COMMENTS	6/11/19
3. RESPONSE TO TRC AND CFPUA COMMENTS	7/16/19

CLIENT INFORMATION:

PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

EXISTING SITE INVENTORY
 KFC MARKET STREET
 5120 MARKET STREET
 WILMINGTON, NORTH CAROLINA

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
 DATE: 05/17/2019
 SCALE: 1"=20'
 DRAWN: ASB
 CHECKED: JRE

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-1.1

PEI JOB#: 18474.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



LOCATION MAP
SCALE: 1"=50'

SITE INFORMATION
OWNER INFORMATION: LAURINBURG KFC TAKE HOME, INC.
P.O. BOX 1469
LAURINBURG, NC 28353

APPLICANT INFORMATION: SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28532

PROJECT ADDRESS: 5122 MARKET STREET
WILMINGTON, NC 28405

TAX PARCEL IDENTIFICATION #: R04915-002-002-000
RECORDED DEED BOOK: DB 6193 PG 2241

CURRENT ZONING: RB - REGIONAL BUSINESS
EXISTING USE: 601-FINANCE BANKS
PROPOSED USE: RESTAURANT - FAST FOOD

TOTAL SITE AREA: 1.02 ACRES +/- (44,404 SF +/-)

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313800 K, DATED AUGUST 28, 2018
THERE IS NO FEMA 100-YEAR FLOODPLAIN LINE WITHIN THE PROJECT AREA

CAMA LAND USE CLASSIFICATION: URBAN

CONSERVATION DISTRICT: NO CONSERVATION RESOURCES EXIST ON SITE

DIMENSIONAL REQUIREMENTS
RB-REGIONAL BUSINESS

REQUIREMENT	REQUIRED
MINIMUM LOT AREA	1 ACRE
MINIMUM LOT WIDTH	100'
MAXIMUM LOT COVERAGE	40%
MINIMUM FRONT SETBACK	25'
MINIMUM REAR SETBACK	15'
MINIMUM INTERIOR SIDE SETBACK	0'
MINIMUM CORNER LOT SIDE SETBACK	25'
MAXIMUM BUILDING HEIGHT	35'

IMPERVIOUS INFORMATION

TOTAL EXISTING IMPERVIOUS AREA:	ACRE
EXISTING BUILDING (ROOF COVERAGE)	2,453 SF
EXISTING ACCESSORY STRUCTURES (ATM KIOSK, DRIVE-THRU CANOPY & SHED)	1,116 SF
EXISTING PARKING & DRIVEWAYS	17,182 SF
EXISTING SIDEWALKS	1,068 SF
TOTAL EXISTING IMPERVIOUS AREA	21,819 SF

PROPOSED IMPERVIOUS AREA:

BUILDING (ROOF COVERAGE)	3,648 SF
TRASH ENCLOSURE PAD	280 SF
ON-SITE PARKING & DRIVEWAYS	20,709 SF
ON-SITE SIDEWALKS	1,951 SF
FUTURE	676 SF
TOTAL PROPOSED IMP. AREA	27,264 SF

PROPOSED PERCENT IMPERVIOUS:

TOTAL SITE AREA	44,404 SF
PROPOSED IMPERVIOUS AREA	27,264 SF
PROPOSED PERCENT IMPERVIOUS	61.4%

BUILDING INFORMATION

CONSTRUCTION TYPE	V
OCCUPANCY	TYPE A-2 (RESTAURANT)
NUMBER OF PROPOSED BUILDINGS	1
TOTAL PROPOSED BUILDINGS SF	3,286 SF (FOOTPRINT)
NUMBER OF STORIES	1
TOTAL BUILDING SF	3,286 SF

PROPOSED BUILDING HEIGHT 22'

SEE PLANS FOR DIMENSIONS OF BUILDING FROM PROPERTY LINES. PROPOSED BUILDING IS LOCATED OUTSIDE THE PROPERTY SETBACKS

BUILDING LOT COVERAGE 8.2%

SITE PARKING
PROPOSED USE: RESTAURANT: STANDARD AND FAST FOOD CARRY-OUT
NUMBER OF SEATS: 67 TOTAL (55 INDOOR / 12 OUTDOOR)
PARKING SPACES REQUIRED: 1 PER 2.5 SEATS (MAX.) = 26.8 SPACES
1 PER 4 SEATS (MIN.) = 16.75 SPACES

PARKING CALCULATIONS*: 26.8 SPACES
X 25% INCREASE (PER SEC. 18-528(d) (1) & (2))
33.5 SPACES (34 SPACES PROVIDED)

PARKING CALCULATIONS ARE BASED ON MAXIMUM ALLOWABLE PARKING SPACES BASED ON NUMBER OF SEATS PROVIDED, PLUS 25% INCREASE IN PARKING FOR USE OF IMPERVIOUS PAVING AND/OR INCREASED STORMWATER BMP'S AS ALLOWED PER CODE SECTION 18-528(d) (1) & (2).

LEGEND:

	PROPOSED TREE PROTECTION FENCE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
	PRIMARY STREETYARD
	SECONDARY STREETYARD
	PARKING LOT LANDSCAPE AREAS
	FOUNDATION PLANTING AREAS
	PERVIOUS CONCRETE PAVEMENT REFER TO DETAIL SHEET C-5.2

EXISTING EASEMENTS OR OVERLAY DISTRICTS
SEE PLAN FOR LOCATIONS AND DESCRIPTIONS OF PRIVATE EASEMENTS

THERE ARE NO SPECIAL OVERLAY DISTRICTS IDENTIFIED ON THIS PROPERTY

SIGHT DISTANCE TRIANGLE NOTES
ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE)

UNDERGROUND INFRASTRUCTURE NOTES
GENERAL LOCATIONS AND SIZES OF WATER, SEWER, STORM DRAIN LINES, FIRE HYDRANTS AND SEWER LINES ARE SHOWN ON THE PLAN

GENERAL NOTES

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTRACTOR SHALL REFER TO LANDSCAPE PLAN AND SITE INVENTORY PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
- PROPERTY NOT LOCATED WITHIN A HIGHWAY OVERLAY DISTRICT.
- ADDITIONAL FIRE PROTECTION AND / OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

PARKING IN EXCESS OF MAXIMUM ALLOWABLE
THE APPLICANT IS APPLYING FOR A 25% PARKING INCREASE OVER THE MAXIMUM ALLOWABLE PARKING, AS ILLUSTRATED PER PLAN. THE FOLLOWING CONDITIONS WILL BE MET:

- ALL PARKING IN EXCESS OF ESSENTIAL SITE IMPROVEMENTS MEETS THE FOLLOWING CONDITIONS:
 - PERVIOUS PAVING MATERIALS USED ONLY WHERE SOILS ARE SUITABLE FOR INFILTRATION; AND/OR
 - RUNOFF FOR ADDITIONAL PARKING AREA IS MANAGED BY AT LEAST (1) OF THE FOLLOWING TECHNIQUES (REFER TO NCDENR BEST MANAGEMENT PRACTICES MANUAL FOR DESIGN CRITERIA): BIoretention Area; FILTER STRIP; SAND FILTER; AND/OR GRASSED SWALES.
- THE APPLICANT REQUESTING THE ADDITIONAL PARKING ABOVE THE MAXIMUM SUBMITS INFORMATION THAT JUSTIFIES THE NUMBER OF PARKING SPACES BEING PROPOSED, INCLUDING ESTIMATES OF PARKING DEMAND BASED ON RECOMMENDATIONS OF THE INSTITUTE OF TRAFFIC ENGINEERS AND/OR OTHER RELIABLE DATA. THE INFORMATION SHALL DOCUMENT THE SOURCE OF THE DATA USED TO DEVELOP THE RECOMMENDATION.
- THE APPLICANT DEMONSTRATES THAT NO OTHER PARKING ALTERNATIVES EXIST, INCLUDING SHARED PARKING OPPORTUNITIES WITH NEIGHBORING PROPERTIES.

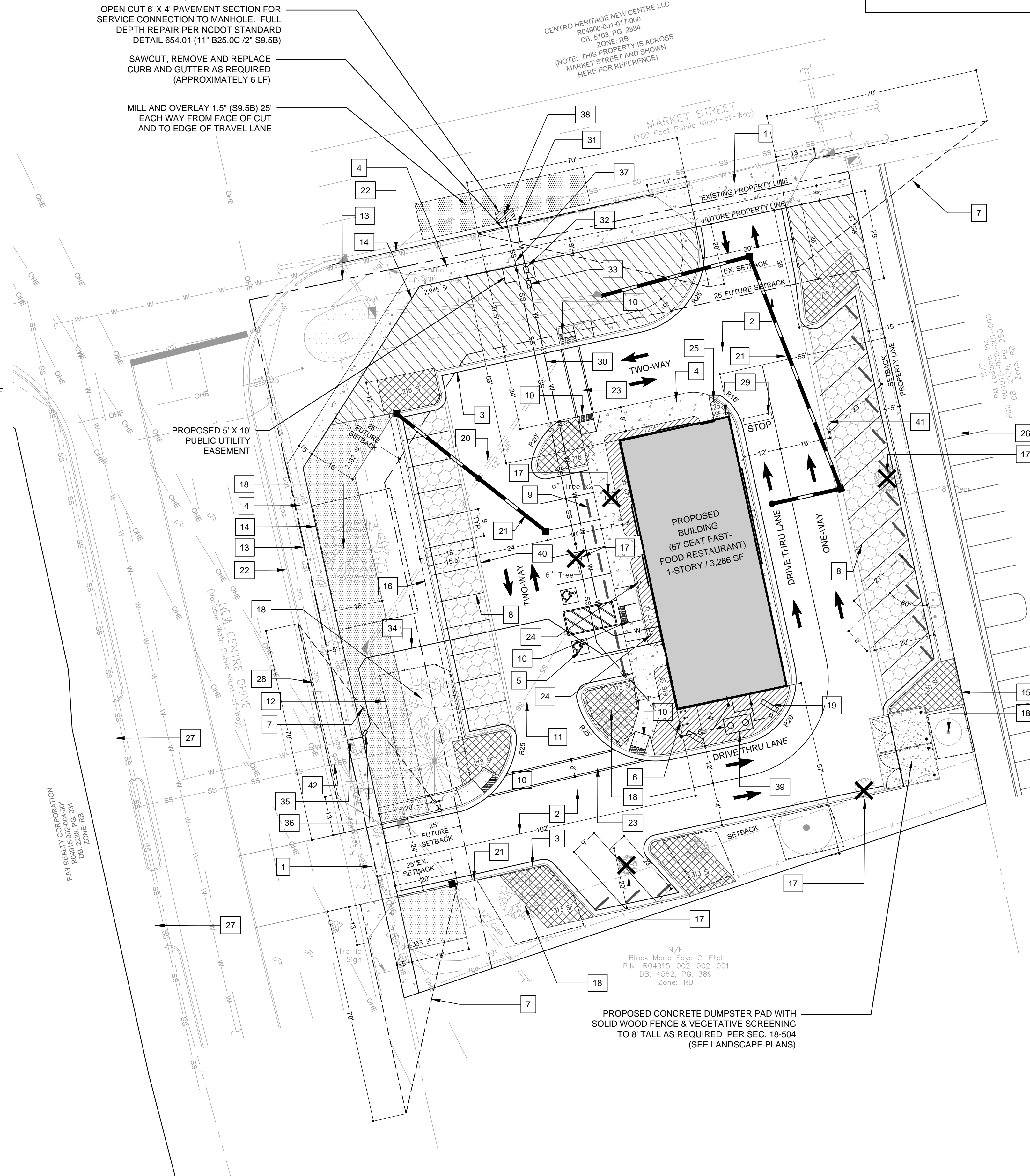
WATER AND SEWER DEMANDS
WATER: 0 GPD (CURRENT USE) - VACANT BUILDING
WATER: 2680 GPD (PROPOSED USE) - RESTAURANT

SEWER: 0 GPD (CURRENT USE) - VACANT BUILDING
SEWER: 2680 GPD (PROPOSED USE) - RESTAURANT

OPEN CUT 6' X 4' PAVEMENT SECTION FOR SERVICE CONNECTION TO MANHOLE. FULL DEPTH REPAIR PER NCDOT STANDARD DETAIL 654.01 (11" B25.0C / 2' S9.5B)

SAWCUT, REMOVE AND REPLACE CURB AND GUTTER AS REQUIRED (APPROXIMATELY 6 LF)

MILL AND OVERLAY 1.5" (S9.5B) 25' EACH WAY FROM FACE OF CUT AND TO EDGE OF TRAVEL LANE



NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

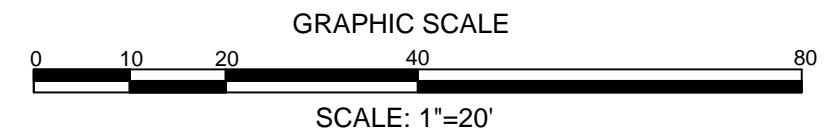
Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit #: _____
Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- KEY NOTES:**
- CONCRETE DRIVE APRON: CITY STD. DRIVEWAY SD 3-03
 - ASPHALT PAVEMENT: REFER TO DETAIL
 - STANDARD 24" CURB & GUTTER: REFER TO DETAIL
 - CONCRETE SIDEWALK:
 - ADA ACCESSIBLE PARKING SPACE: (TYPICAL OF 2)
 - BICYCLE RACKS: 5 BIKE CAPACITY RACK(S) PER CITY REQUIREMENTS
 - CITY OF WILMINGTON SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20'X70' SIGHT TRIANGLE STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS)
 - WHEEL STOP:
 - CURB RAMP: ADA COMPLIANT / ACCESSIBLE RAMP
 - EXISTING UTILITIES (PRIVATE): TO BE RELOCATED AS REQUIRED
 - TREE PROTECTION FENCING: EXISTING TREE TO REMAIN, PROTECT PER CITY STANDARDS
 - EXISTING PROPERTY LINE: SEE EXISTING SITE INVENTORY
 - FUTURE PROPERTY LINE: PER N.C. D.O.T. IMPROVEMENT PROJECT SEE EXISTING SITE INVENTORY
 - EXISTING FENCE TO REMAIN: ADJACENT PROPERTY / OFF-SITE
 - BUMPER OVERHANG: PARKING SPACE WITH NO WHEEL STOP (SHOWN FOR REFERENCE)
 - EXISTING TREE TO BE REMOVED (TYP.): 'X' SYMBOL, SEE TREE REMOVAL AND MITIGATION CHART (L-1.0)
 - EXISTING TREE TO REMAIN (TYP.): SEE TREE PRESERVATION CHART (L-1.0)
 - DRIVE THRU MENU & CALL BOX: EXACT LOCATIONS TO BE DETERMINED
 - EXISTING STORMWATER (PRIVATE): TO REMAIN
 - PROPOSED STORMWATER (PRIVATE): SEE GRADING & DRAINAGE SHEETS
 - EXISTING CURB:
 - CROSSWALK:
 - ADA PARKING SPACE SIGN:
 - "DO NOT ENTER" TRAFFIC DIRECTIONAL SIGN:
 - PARKING ON ADJACENT PROPERTY: SHOWN FOR REFERENCE ONLY
 - DRIVEWAYS AT ADJACENT PROPERTY: SHOWN FOR REFERENCE ONLY
 - EXISTING DRIVEWAY TO BE ABANDONED: USE OF EXISTING DRIVEWAY TO BE DISCONTINUED. REPLACE ALL NECESSARY CURBS, GUTTERS, APRONS, SIDEWALKS, AND APPURTENANCES THERETO (PER SECTION 18-530)
 - STOP SIGN AND PAINTED STOP BAR AT DRIVE-THRU LANE:
 - 1.5" SCH. 40 PVC WATER SERVICE
 - 8" x 2" DOMESTIC WATER TAP
 - 1.5" DOMESTIC WATER METER
 - 1.5" RPZ BACKFLOW PREVENTER
 - 1" SCH. 40 PVC IRRIGATION SERVICE TO CONTROLLER
 - EXISTING 5/8" METER TO BE USED FOR IRRIGATION
 - 1" RPZ BACKFLOW PREVENTER
 - 6" SCH. 40 PVC SAN. SEWER SERVICE
 - 6" SERVICE TAP IN MANHOLE - SEE DETAIL
 - GREASE INTERCEPTOR: DESIGN BY OTHERS - SEE MEP PLAN FOR DETAILS
 - 12" HEADER CURB: REFER TO DETAIL
 - NCDOT VALLEY CURB: REFER TO DETAIL
 - ABANDON EXISTING 4" SEWER SERVICE PER CPDUA STANDARDS



REVISIONS:

NO.	DATE	DESCRIPTION
1/1	12/8/19	TRC - RESPONSE TO COMMENTS
2/1	7/6/19	TRC - RESPONSE TO TRC AND CPDUA COMMENTS

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28532

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6700 (F)
NC License #: C-2546

SITE & UTILITY PLAN
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT: _____
FINAL DESIGN LAYOUT: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
DATE: 08/17/20
SCALE: 1"=20'
DRAWN BY: ASB/DP/ASB
CHECKED: _____

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.0
PEI JOB#: 18474.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



LOCATION MAP
SCALE: 1"=500'

NOTES:

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- 2) A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS.
- 3) SEE SHEET C-0.1 GENERAL NOTES FOR FURTHER INFORMATION.

NOTATION:

CB = CATCH BASIN	TC = TOP OF CURB ELEVATION
DCB = DOUBLE CATCH BASIN	BC = BOTTOM OF CURB (GUTTER) ELEVATION
DI = DROP INLET	PG = PROPOSED GRADE
DDI = DOUBLE DROP INLET	HP = HIGH POINT ELEVATION
YI = YARD INLET (2-SIDE OPEN THROAT)	SW = SIDEWALK ELEVATION
MH = STORM MANHOLE	FLUME = CONCRETE DRAINAGE FLUME FLOWLINE ELEVATION
YD = YARD DRAIN	RP = RAMP
RD = ROOF DRAIN CONNECTION*	PAD = DUMPSTER PAD ELEVATION

*PROVIDE IN-LINE CLEANOUT AND CONNECTION TO DOWNSPOUT - SEE ARCHITECTURAL & PLUMBING PLANS FOR DOWNSPOUT CONNECTIONS.

DRAINAGE NOTES:

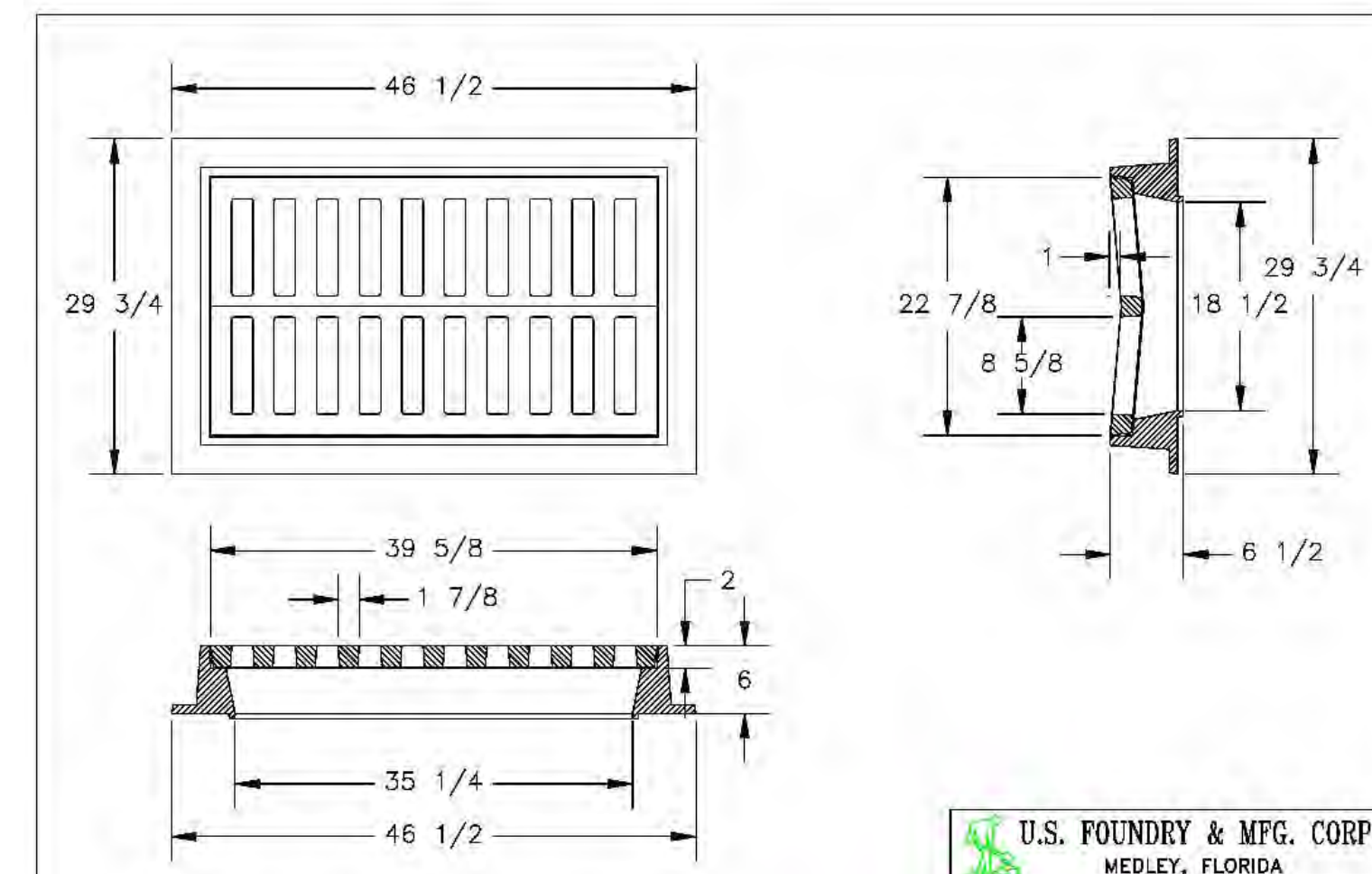
- 1) STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER, INCLUDING PIPES AND PERVIOUS PAVEMENT SCMs.
- 2) ALL ON-SITE IMPERVIOUS MUST DRAIN TO THE DESIGNED STORMWATER SYSTEM, PER THE APPROVED PLANS.
- 3) ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS AND SHALL BE TRAFFIC RATED FOR H-20 LOADS AT A MINIMUM.
- 4) ALL CATCH BASIN (CB) RIM ELEVATIONS ARE LISTED AS THE "GUTTER OF FLOWLINE ELEVATION" WITHIN THE CURB SECTION. THE CONTRACTOR SHALL MAINTAIN A UNIFORM EDGE OF PAVEMENT (EOP) WHEN PLACING THE STORM INLETS WITHIN THE CURB-LINE (SEE "CURB TRANSITION" DETAIL).
- 5) MANHOLE RIM ELEVATION SHOWN ABOVE IS FLUSH WITH PROPOSED GRADE. CONTRACTOR SHALL PROVIDE 6" CLEARANCE ABOVE PROPOSED GRADE WHEN PLACED IN A GRASS/PERVIOUS AREA; AND A FLUSH CONDITION WITH PROPOSED PAVEMENT OR IMPERVIOUS COVER.
- 6) PROPOSED BUILDINGS SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.
- 7) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
- 8) THE CONTRACTOR SHALL USE EITHER RCP (CL. III) OR HDPE PIPE FOR THE STORM DRAINAGE SYSTEM. IF THE CONTRACTOR CHOOSES TO USE HDPE PIPE, IT SHALL BE ADS N-12 WT STORM PIPE OR APPROVED EQUAL AND SHALL BE INSTALLED TO MANUFACTURER SPECIFICATIONS. IN ADDITION, THE CONTRACTOR SHALL BE SURE TO PROVIDE CONCRETE COLLARS AROUND EACH F.E.S. TO PREVENT FLOATATION IF HDPE PIPE IS CHOSEN.

ASPHALT AREA NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

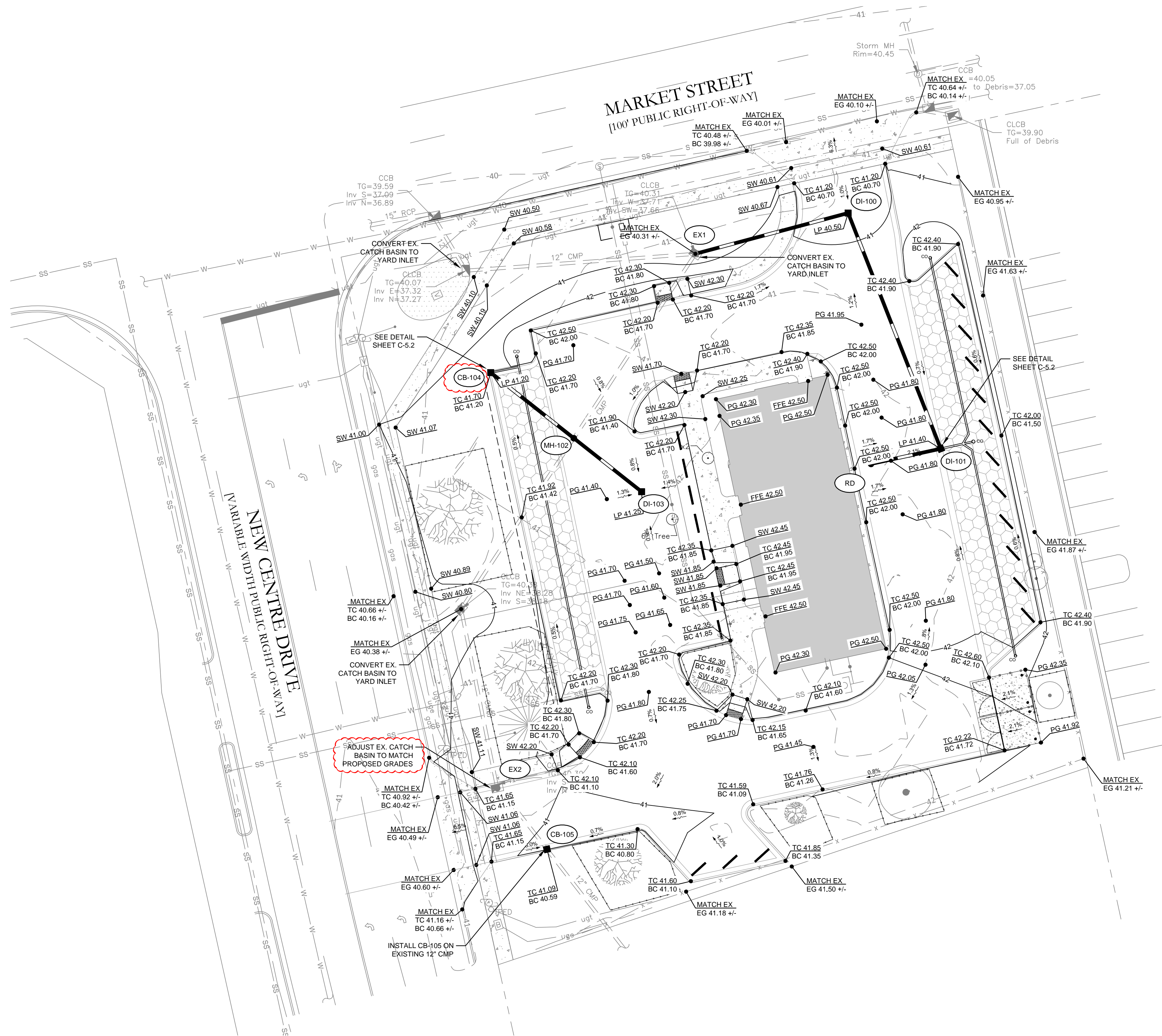
BUILDING PAD NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.



- NOTES:
 1- MATERIAL: ASTM-A48 CLASS 35B GRAY IRON.
 2- FRAME WT: 500 LBS. APP.
 3- GRATE WT: 300 LBS. APP.

DI-101 FRAME & GRATE



STORM SCHEDULE:

Upstream Node	Downstream Node	Diameter (in)	Upstream Invert	Downstream Invert	Pipe Length (ft)	Slope (%)	Upstream Rim Elev	Downstream Rim Elev	Pipe Material
DI-100	EX1	12.00	37.84	37.71	51	0.25	40.50	40.31	RCP III
DI-101	DI-100	12.00	38.04	37.84	82	0.25	41.40	40.50	RCP III
RD	DI-101	12.00	38.10	38.04	23	0.25	41.91	41.40	HDPE
CB-105	EX2	12.00	38.67	38.54	26	0.50	40.26	40.81	CMP*
DI-103	MH-102	12.00	38.08	38.01	28	0.25	41.25	41.50	RCP III
CB-104	MH-102	12.00	38.10	38.01	34	0.25	41.20	41.50	RCP III

*EXISTING STORM DRAIN - CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTING CB-105.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

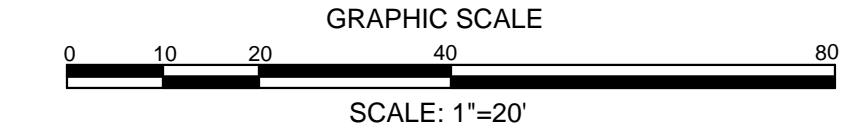
Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

811
 Know what's below.
 Call before you dig.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:
 1. PER COW ENGINEERING COMMENT
 2. RESPONSE TO TRC AND CPWA COMMENTS

CLIENT INFORMATION:
 SCOTTISH FOOD SYSTEMS, INC.
 P.O. BOX 1469
 LAURINBURG, NC 28532

PARAMOUNTE ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

GRADING & DRAINAGE PLAN
 KFC MARKET STREET
 5120 MARKET STREET
 WILMINGTON, NORTH CAROLINA

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
 DATE: 05/17/18
 SCALE: 1"=20'
 DRAWN: ASB
 CHECKED: DJH

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-3.0
 PEI JOB#: 18474.PE



LOCATION MAP
SCALE: 1"=500'

EROSION CONTROL NOTES:

LIMITS OF DISTURBANCE / LIMITS OF CONTRACT = 1.03 ACRES

NOTES:

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- 2) SEE GRADING & DRAINAGE PLANS (C-3.0 - C-3.1).
- 3) SEE SHEET C-0.1 GENERAL NOTES FOR FURTHER INFORMATION.

ASPHALT AREA NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

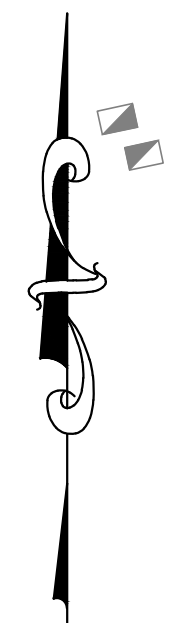
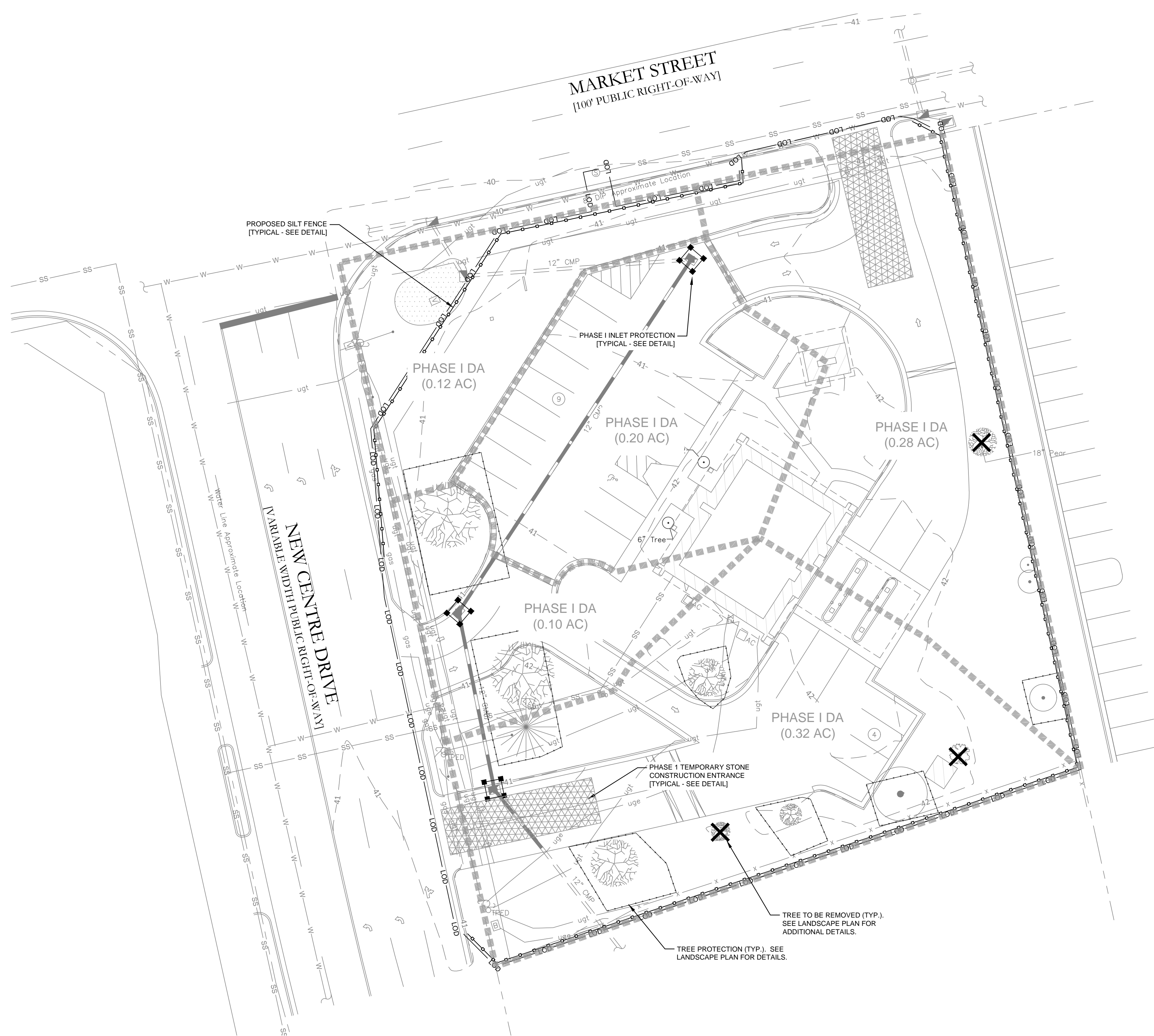
BUILDING PAD NOTE:

- 1) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

DEMOLITION NOTE:

- 1) CONTRACTOR SHALL DEMOLISH ALL EXISTING BUILDINGS, PAVEMENTS, AND OTHER SURFACE IMPROVEMENTS. STORM DRAINS AND UTILITIES SHALL REMAIN WITH MODIFICATIONS AS SHOWN ON THE GRADING PLAN. SELECT TREES SHALL BE REMOVED AS SHOWN ON THE LANDSCAPE PLAN. ALL OTHER TREES SHALL REMAIN AND BE PROTECTED AS SHOWN.

LEGEND:	
	EXISTING CONTOUR
	LIMITS OF DISTURBANCE
	SILT FENCE
	CONSTRUCTION ENTRANCE
	EXISTING STORM STRUCTURE
	EXISTING STORM SEWER
	INLET PROTECTION
	PHASE I APPROXIMATE DRAINAGE DIVIDE



Approved Construction Plan

Name _____ Date _____

Planning _____

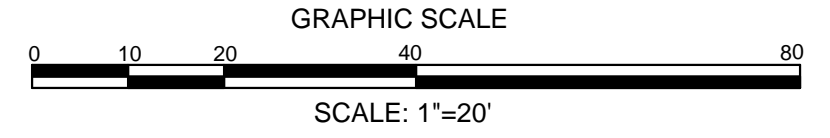
Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

811
Know what's below.
Call before you dig.



REVISIONS:

NO.	DATE	DESCRIPTION
1		RESPONSE TO TRC AND CPFA COMMENTS

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28532

PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

PHASE 1 EROSION CONTROL PLAN
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS

CONCEPTUAL LAYOUT:	08/17/2018
FINAL DESIGN (LOG):	08/17/2018
RELEASED FOR CONST.:	08/17/2018

DRAWING INFORMATION
DATE: 08/17/2018
SCALE: 1"=20'
DRAWN BY: ASB
CHECKED: DJH

Professional Seal redacted on electronic copy per City of Wilmington Policy

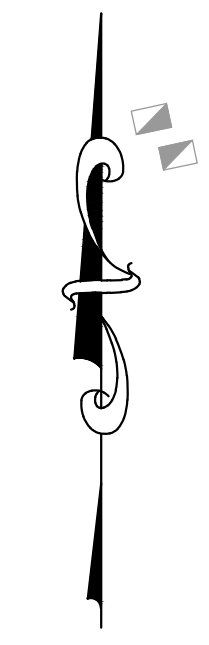
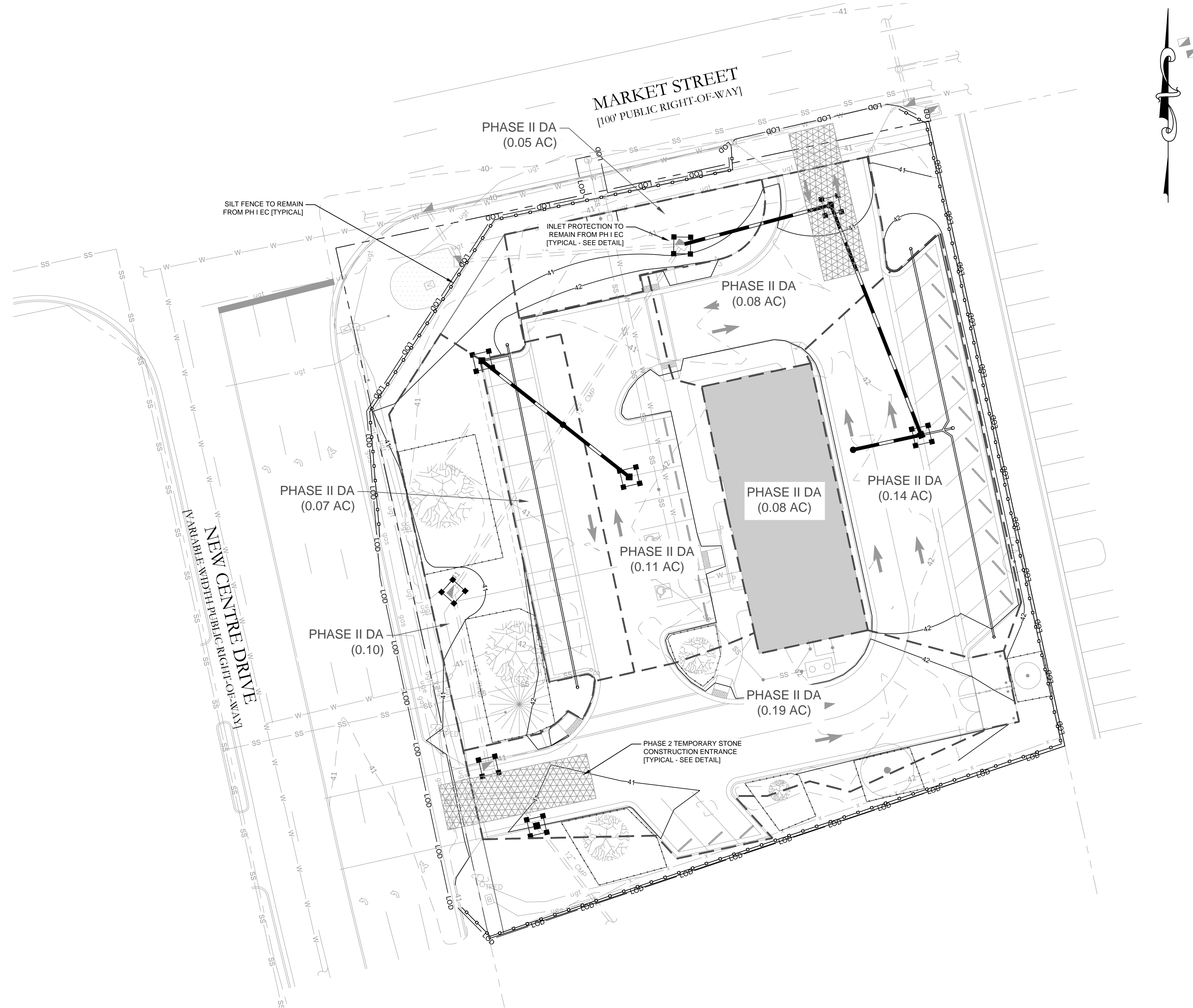
C-4.0

PEI JOB#: 18474.PE



LOCATION MAP
SCALE: 1"=500'

LEGEND:	
	EXISTING CONTOUR
	LIMITS OF DISTURBANCE
	SILT FENCE
	CONSTRUCTION ENTRANCE
	PROPOSED CONTOUR
	PROPOSED STORM DRAIN STRUCTURE
	PROPOSED STORM SEWER
	INLET PROTECTION
	PHASE II DRAINAGE DIVIDE



Approved Construction Plan

Name _____ Date _____

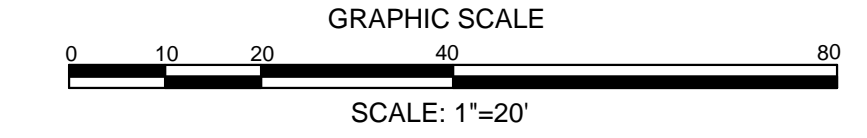
Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____



REVISIONS:
1. RESPONSE TO TRC AND CPWA COMMENTS
07/15/19

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28532

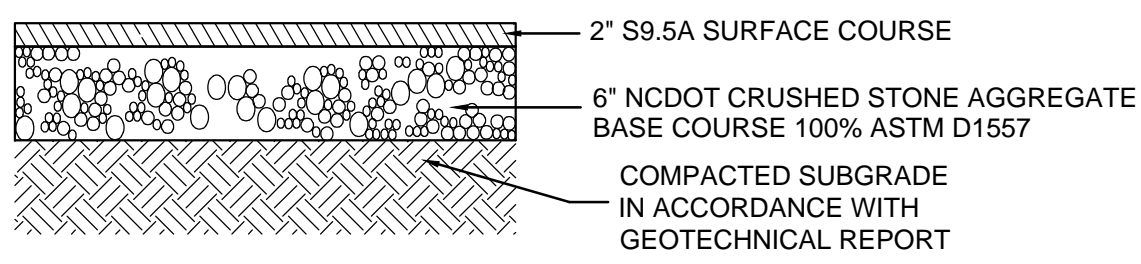
PARAMOUNTE
ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

PHASE 2 EROSION CONTROL PLAN
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

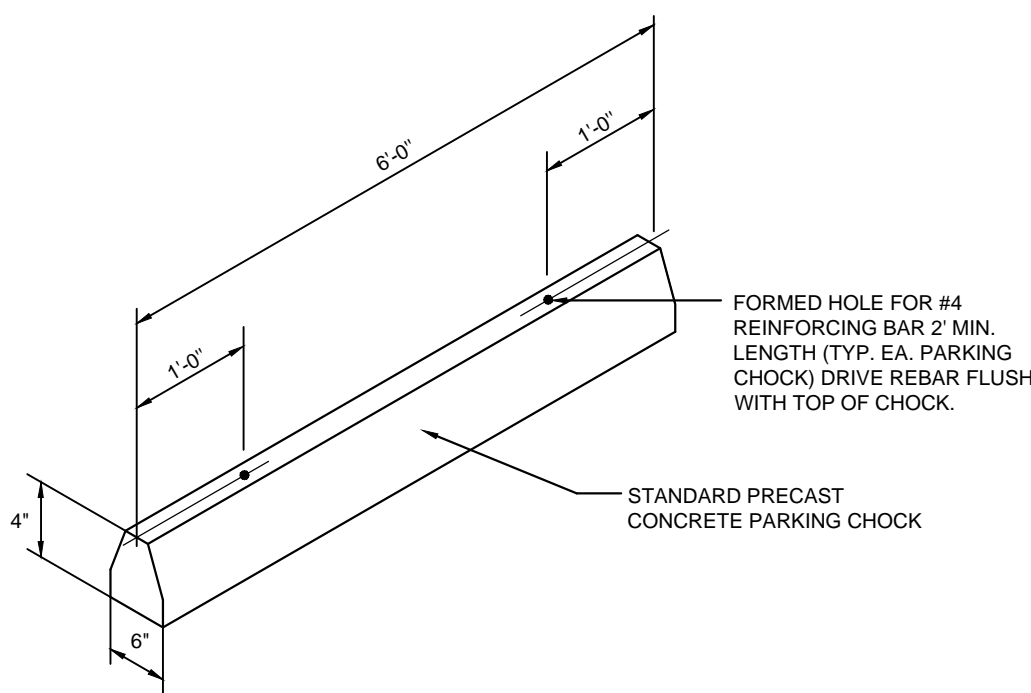
PROJECT STATUS	DRAWING INFORMATION
CONCEPTUAL LAYOUT: _____	DATE: 08/17/2018
FINAL DESIGN LAYOUT: _____	SCALE: 1"=20'
RELEASED FOR CONSTRUCTION: _____	ASSEMBLER: _____
	DRAWN BY: _____
	CHECKED: _____

Professional Seal redacted on electronic copy per City of Wilmington Policy

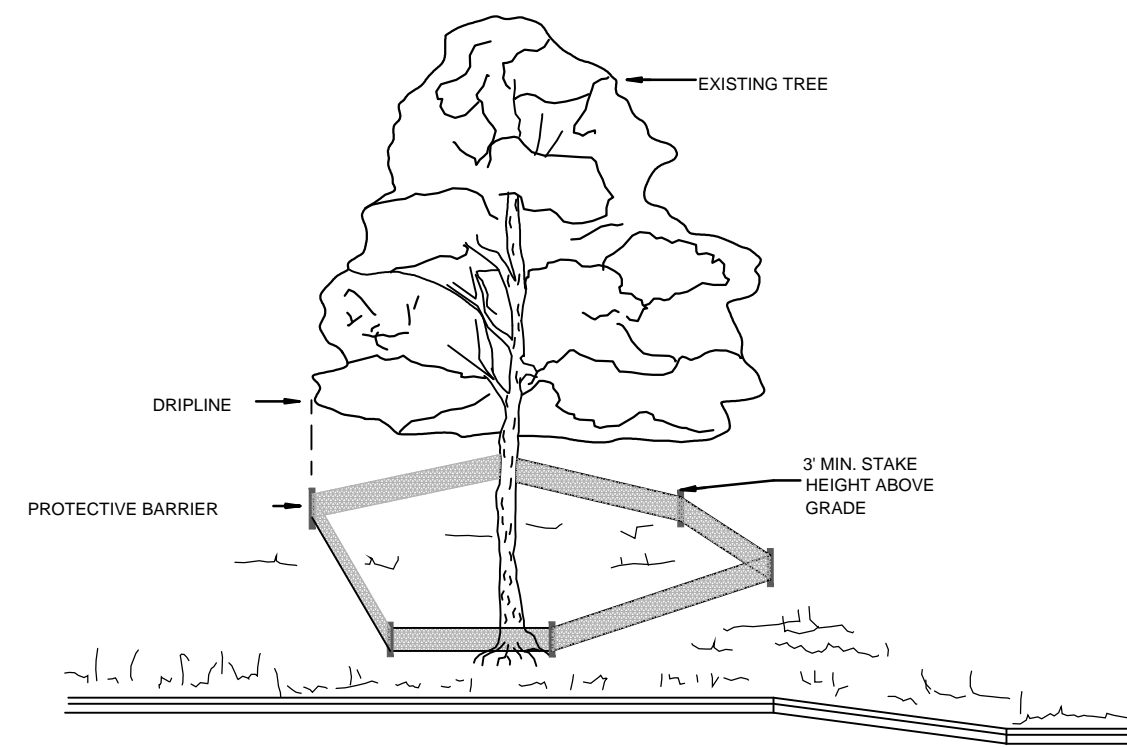
C-4.1



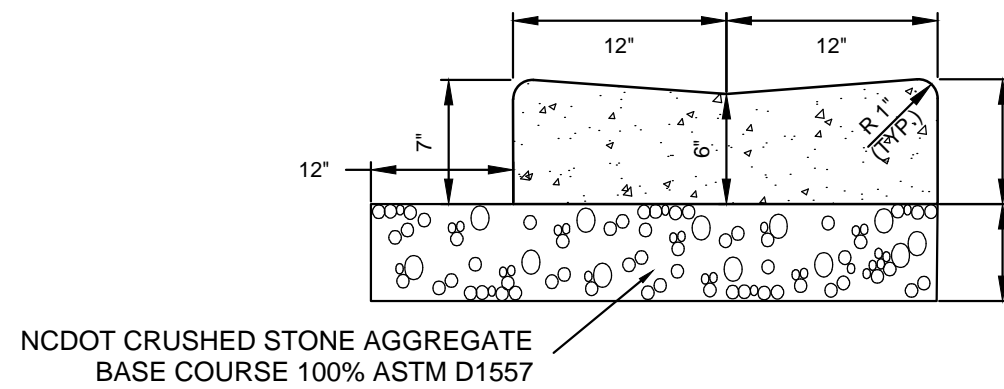
LIGHT DUTY ASPHALT PAVING SECTION
NOT TO SCALE



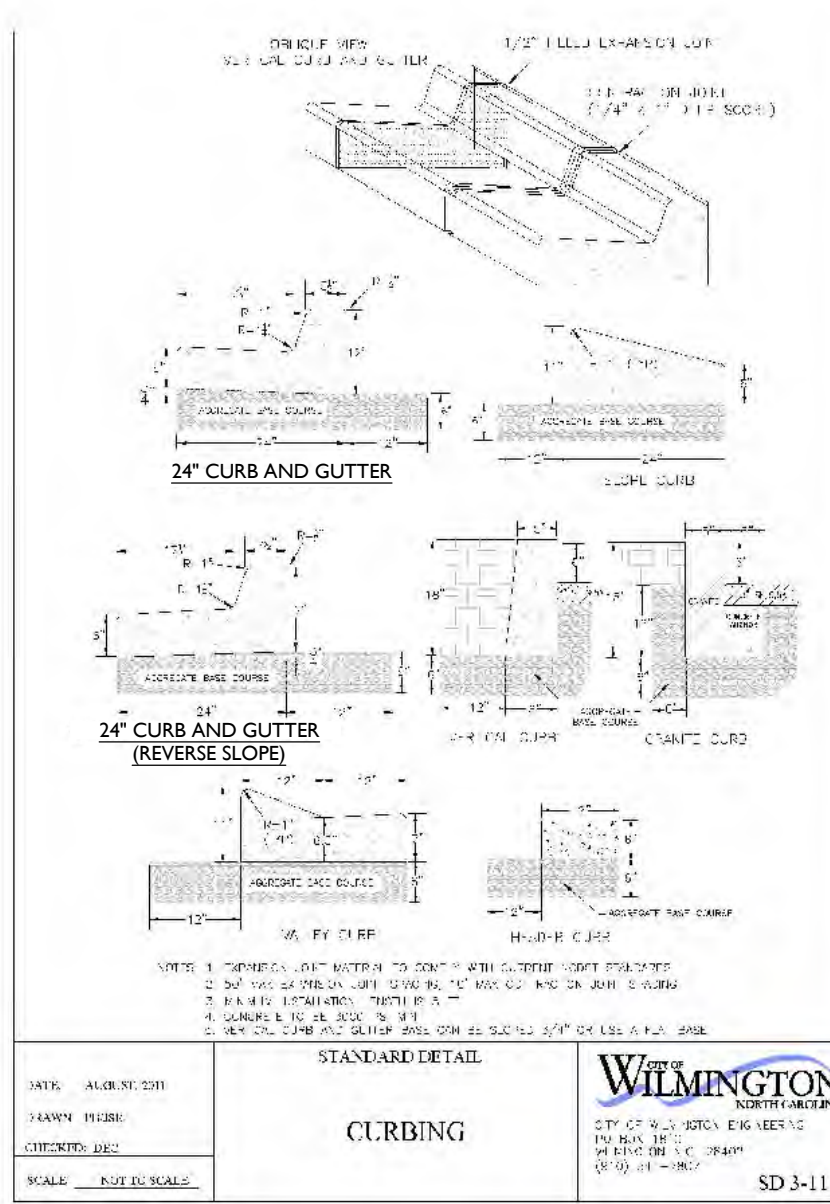
WHEEL STOP
NOT TO SCALE



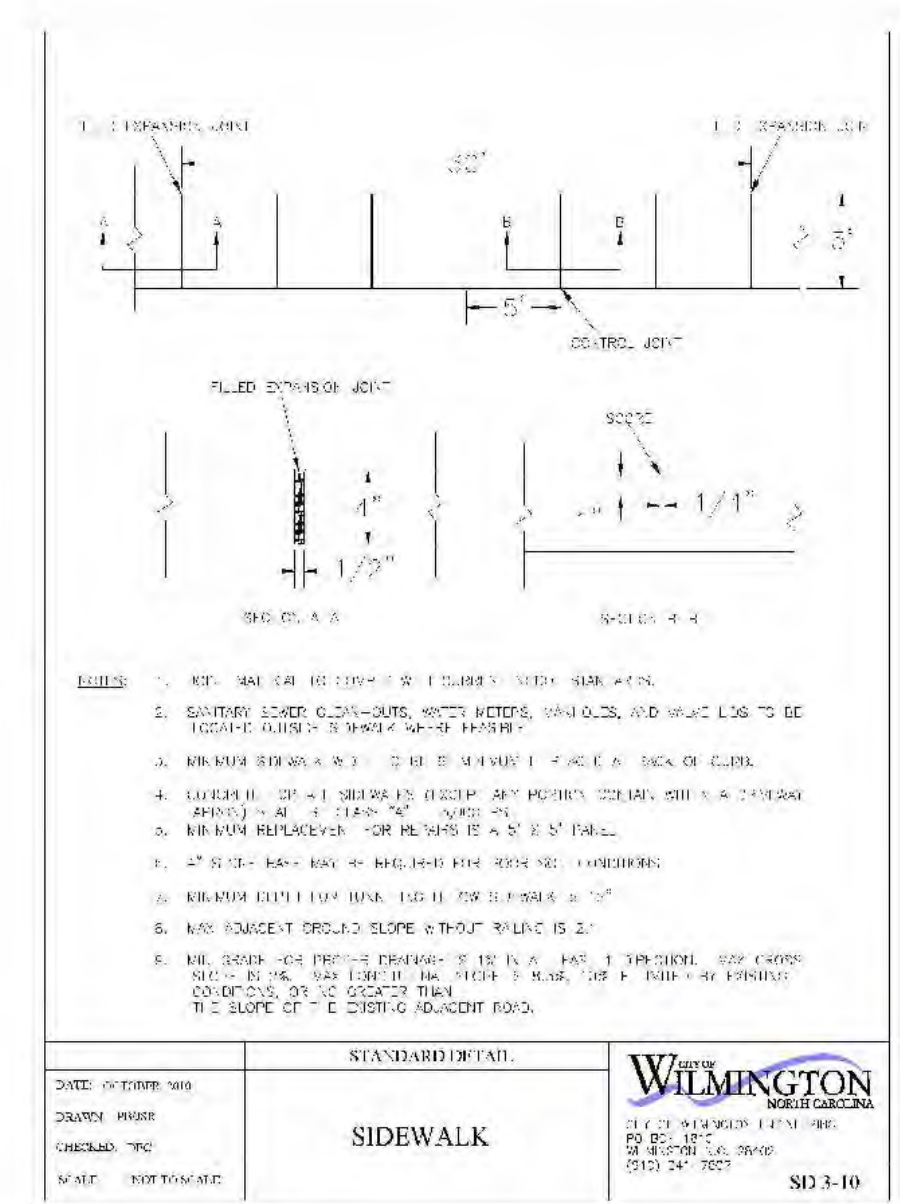
METHOD OF TREE PROTECTION DURING CONSTRUCTION
NOT TO SCALE



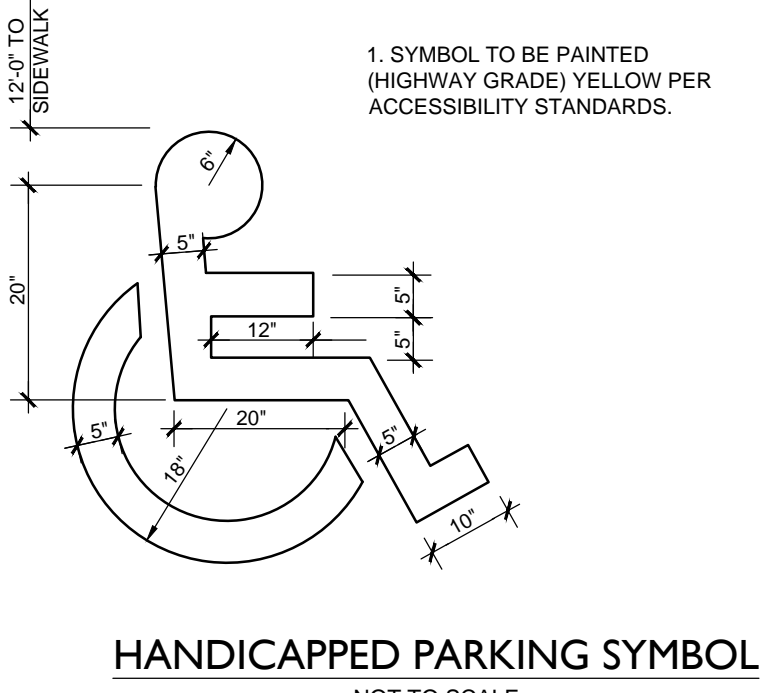
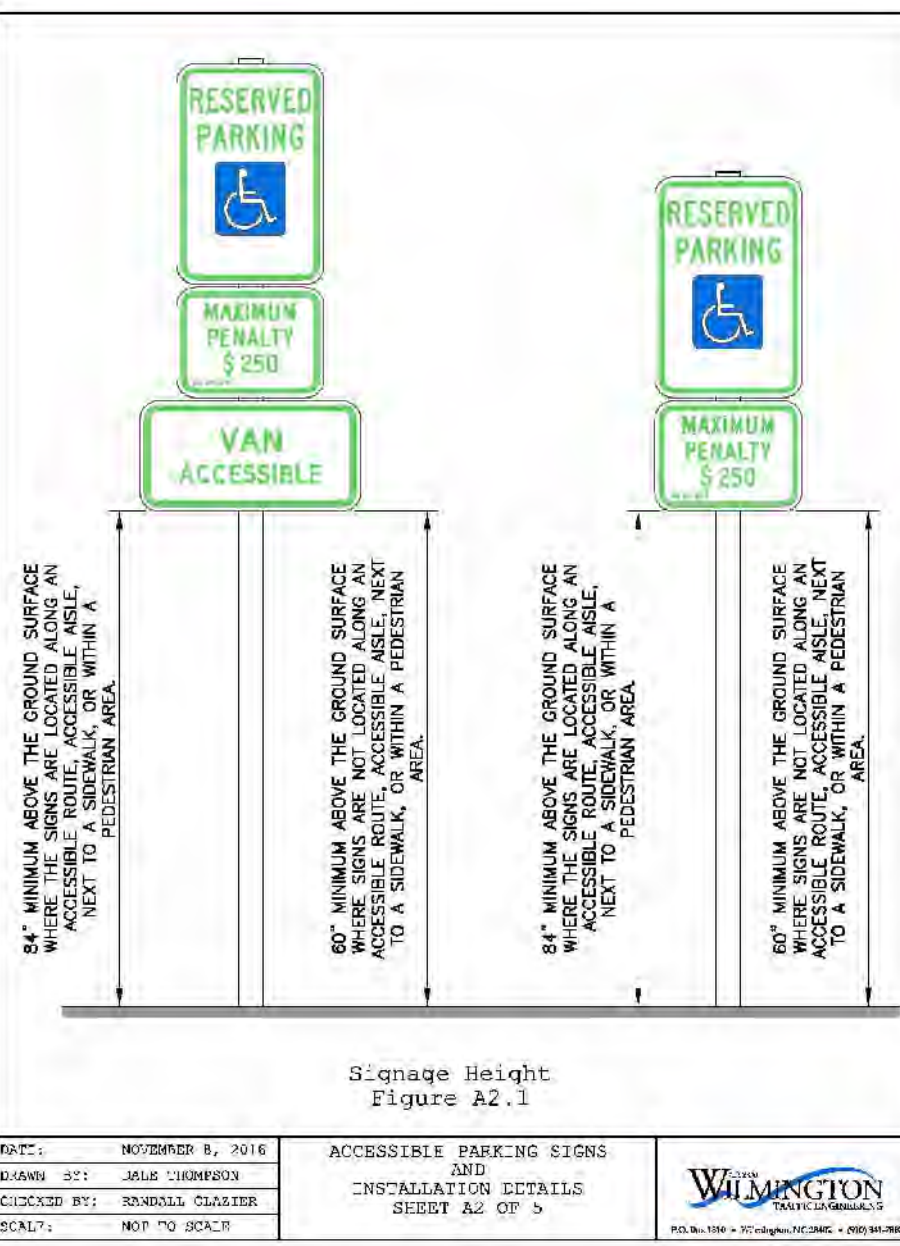
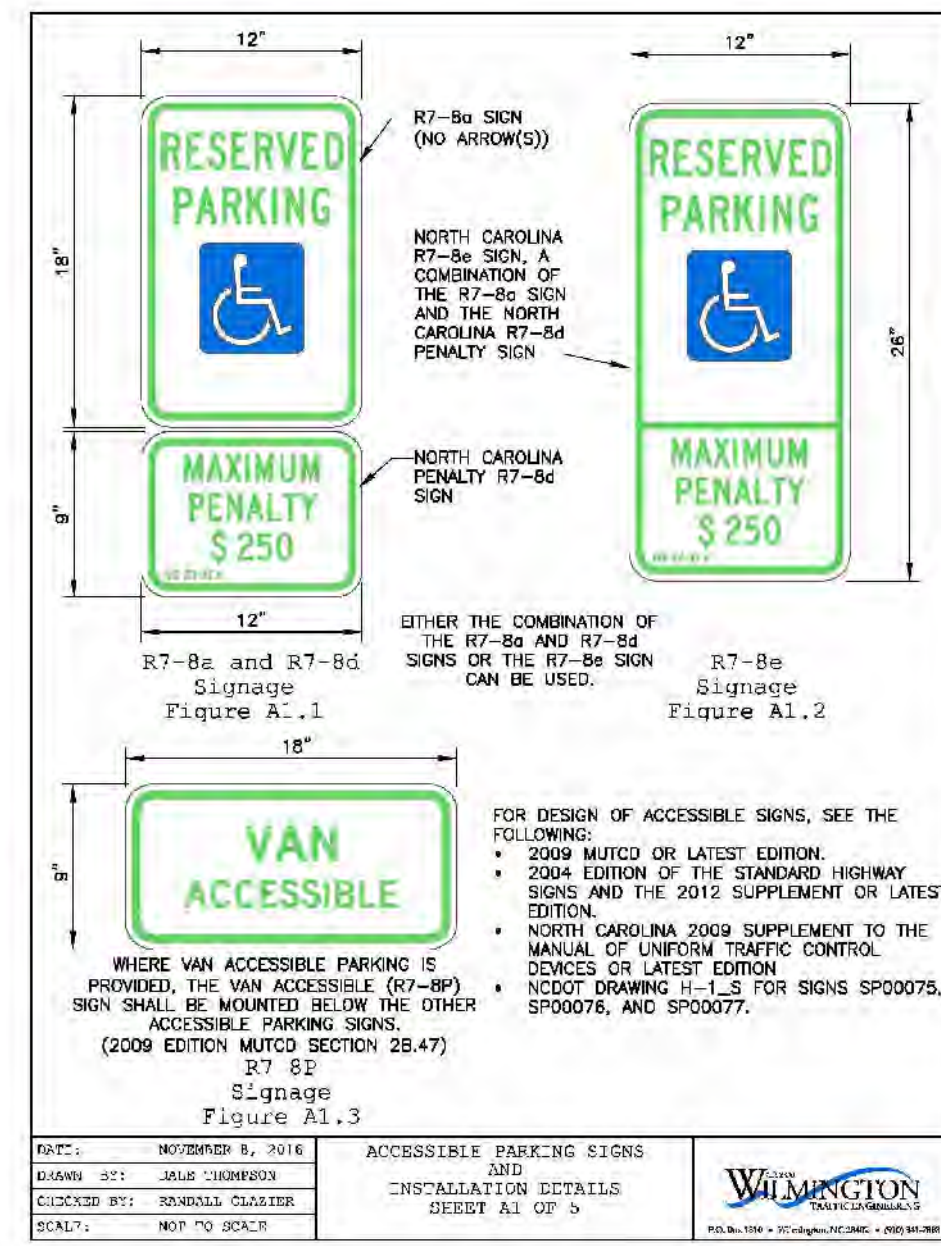
NCDOT VALLEY CURB
NOT TO SCALE



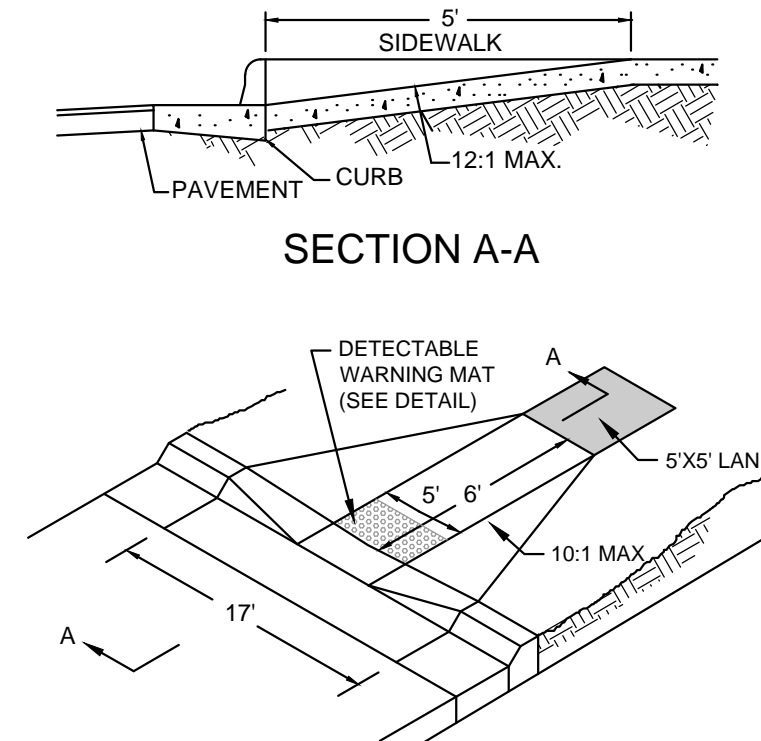
CURBING
SD 3-11



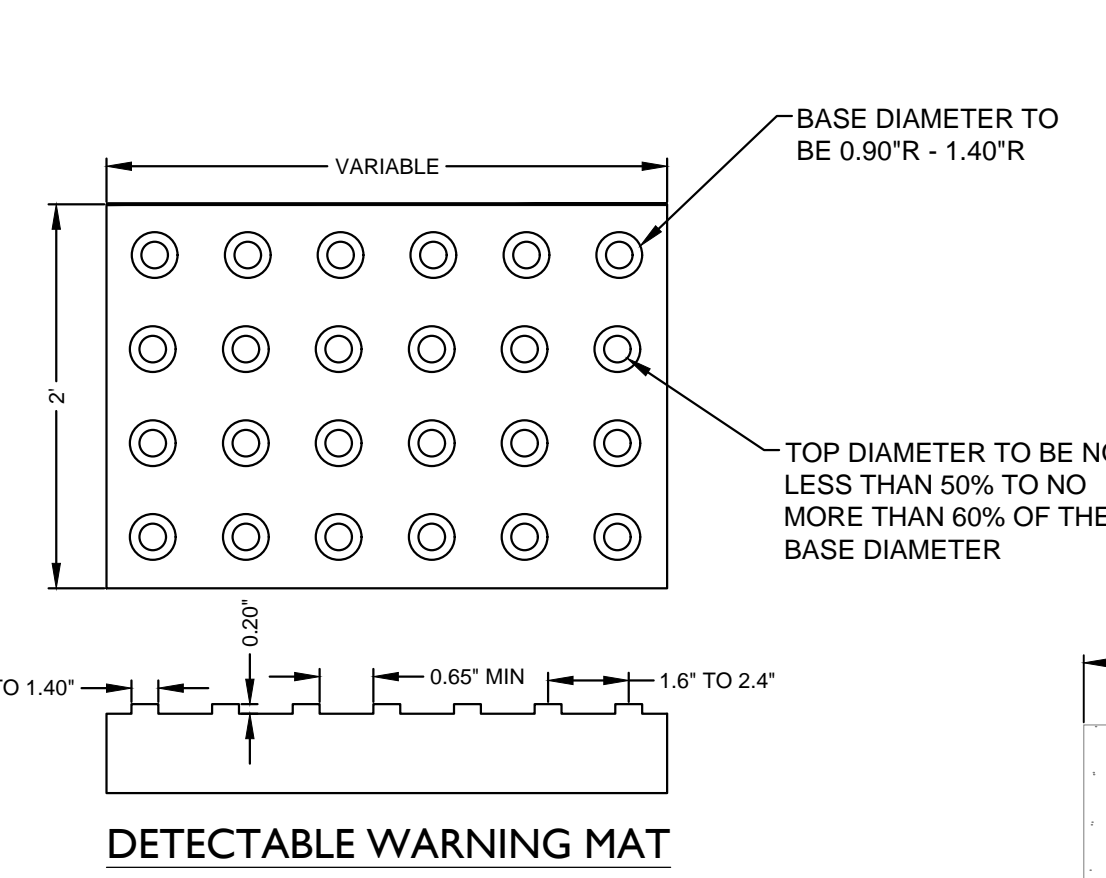
SIDEWALK
SD 3-10



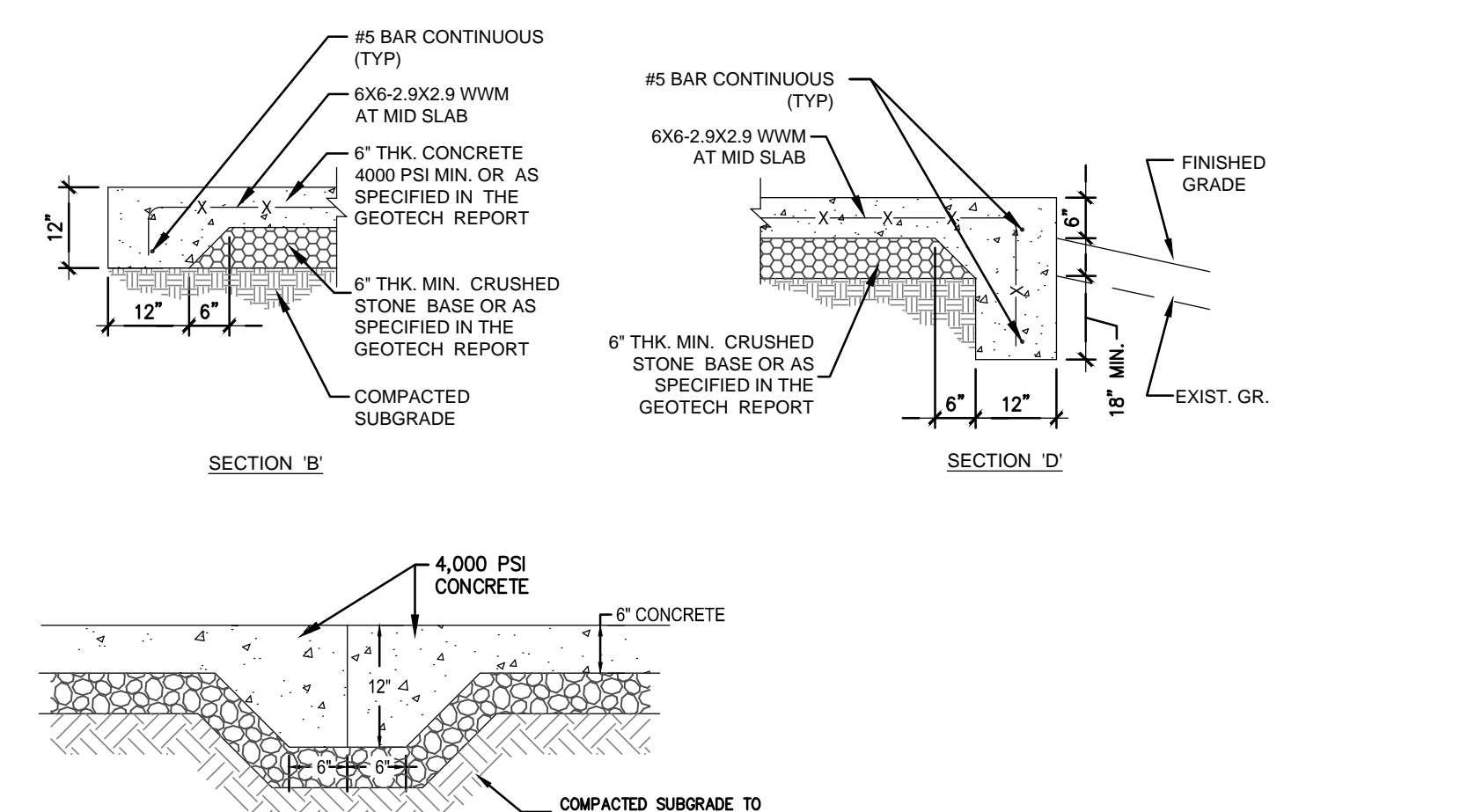
WHEELCHAIR RAMP - TYPE I
NOT TO SCALE



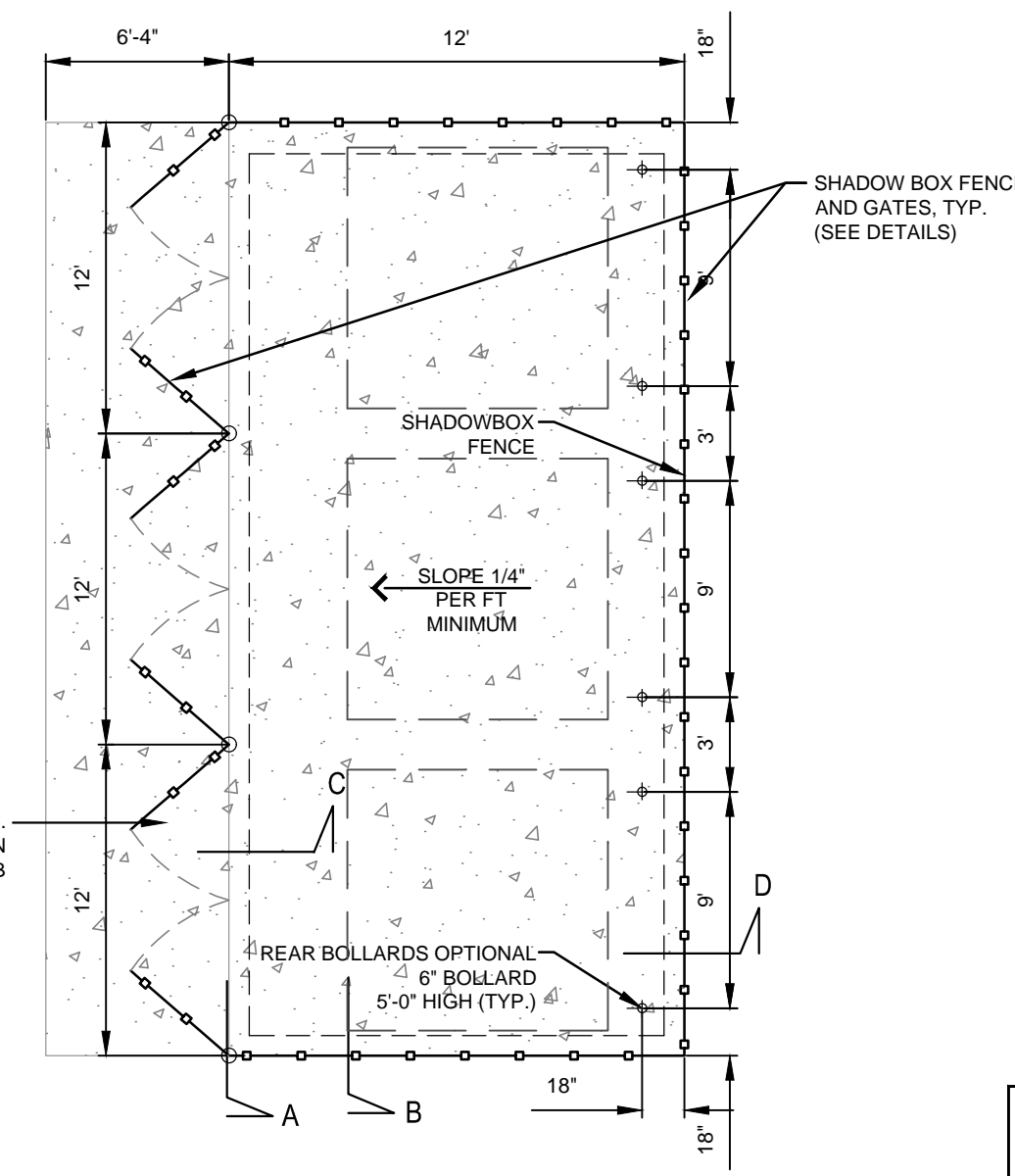
TYPE 2 - WHEELCHAIR RAMP (DROP CURB)
NOT TO SCALE



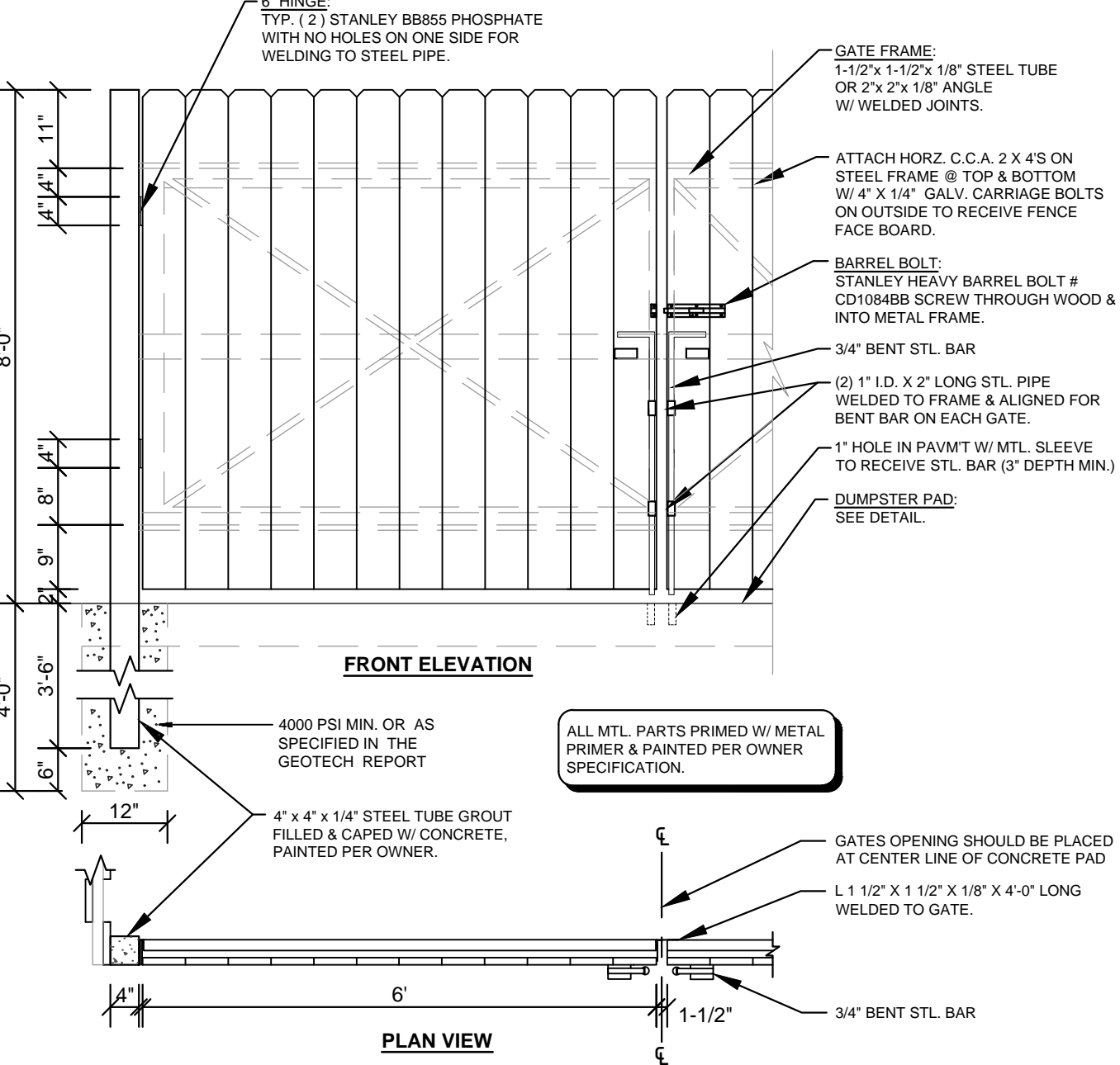
DETECTABLE WARNING MAT
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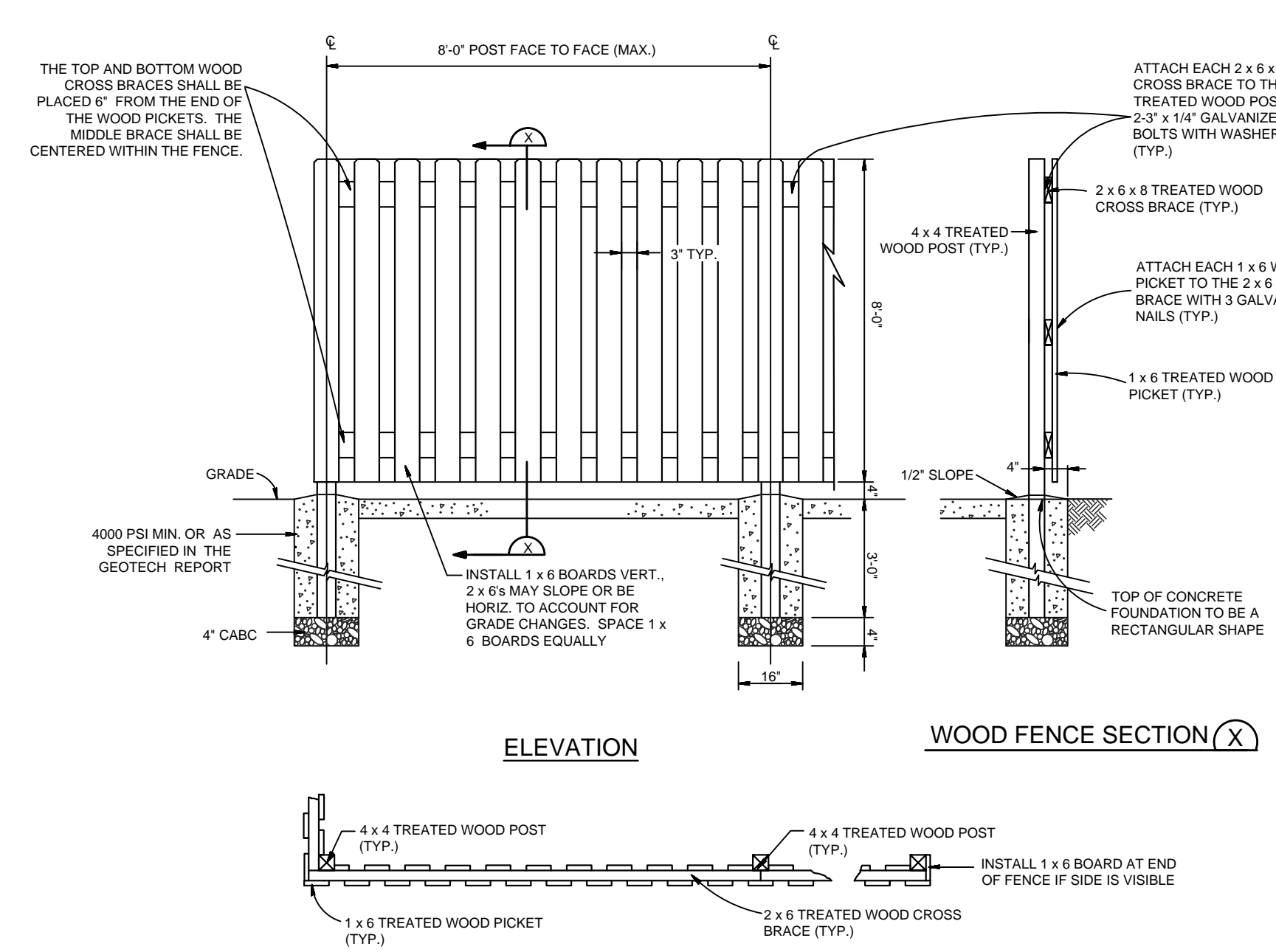
BOLLARD FOOTING
NOT TO SCALE



DUMPSTER PAD AND ENCLOSURE DETAIL
NOT TO SCALE



SHADOW BOX FENCE AND GATE DETAILS
NOT TO SCALE



WOOD FENCE SECTION (X)
NOT TO SCALE

FENCING NOTES AND SPECIFICATIONS

- SPECIFICATIONS FOR WOOD FENCES THE FOLLOWING SPECIFICATIONS, DERIVED FROM ASTM F 537 AND STANDARD PRACTICE IN THE FENCE INDUSTRY, SHALL APPLY TO THE MATERIALS AND CONSTRUCTION OF WOOD FENCES:
 - POSTS AND FRAMING - POST SPACING SHALL NOT EXCEED EIGHT FEET (8').
 - ALL POST HOLES SHOULD BE A MINIMUM OF THIRTY INCHES (30") DEEP FOR FOUR FEET (4') HIGH FENCES AND THIRTY-SIX INCHES (36") DEEP FOR FENCES HIGHER THAN FOUR FEET (4') UP TO EIGHT FEET (8'). ALL TERMINAL, CORNER AND GATE POSTS SHOULD BE SET TO FOURTY-TWO INCHES (42") DEEP.
 - POST HOLES SHOULD BE AT LEAST FOUR INCHES (4") LARGER IN DIAMETER THAN THE LARGEST DIMENSION OF THE POST. ALL TERMINAL, CORNER AND GATE POSTS SHOULD BE SET IN CONCRETE.
 - FENCES UP TO FIVE FEET (5') SHALL HAVE A MINIMUM OF TWO RAILS (STRINGERS) TOP AND BOTTOM. FENCES OVER FIVE FEET (5') SHALL HAVE A THIRD RAIL AT CENTER HEIGHT. STRINGERS SHALL BE 2x6 MINIMUM (NOMINAL).
 - MATERIALS - ALL MATERIALS USED IN WOOD FENCING SHOULD BE EITHER (1) NATURALLY ROT-RESISTANT WOOD (SUCH AS CEDAR), (2) A WOOD PRESURE TREATED FOR ROT-RESISTANCE, OR (3) BE COATED THOROUGHLY WITH A PAINT OR PROTECTIVE COATING IMMEDIATELY ON ERECTION.
 - FASTENERS - FASTENERS SHALL BE MADE OF A NON-RUSTING, NON-CORROSIVE MATERIAL OR COATED TO RESIST RUSTING. NAILS SHALL BE LONG ENOUGH TO PENETRATE THE RECEIVING MEMBER TWICE THE THICKNESS OF THE THINNER MEMBER BUT NOT LESS THAN ONE AND ONE-HALF INCHES (1 1/2").
 - COVER BOARDS SHALL BE 1/2" MINIMUM THICKNESS.
 - SOLID WOOD FENCES SHOULD ALLOW FOR EXPANSION TO AVOID BUCKLING AS FOLLOWS: FOR WIDTHS 2 TO 4 INCHES, A ONE SIXTEENTH INCH (1/16") SPACE SHOULD BE PROVIDED; FOR WIDTHS 6 TO 8 INCHES, A MINIMUM SPACE OF ONE EIGHTH INCH (1/8") SHOULD BE PROVIDED.
 - THE TOPS OF THE COVER BOARDS SHALL BE CUT AS DOG EAR (CORNERS CUT OFF AT 45 DEGREE ANGLES).

NOTES:

- DIMENSIONS ARE SHOWN FOR A 3-STALL DUMPSTER; HOWEVER THE DIMENSIONS CAN BE REDUCED TO A SINGLE OR DOUBLE DUMPSTER.
- BOLLARDS ARE OPTIONAL DEPENDING ON OWNER'S PREFERENCE.
- ENCLOSURE SHALL BE SHADOWBOX FENCE. SEE DETAILS THIS SHEET.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

REVISIONS:

07/16/19	1. RESPONSE TO TRC AND CERIA COMMENTS
----------	---------------------------------------

CLIENT INFORMATION:

SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28552

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2946

DETAILS

KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS

CONCEPTUAL LAYOUT: _____
PRELIMINARY LAYOUT: _____
RELEASED FOR CONST: _____

DRAWING INFORMATION

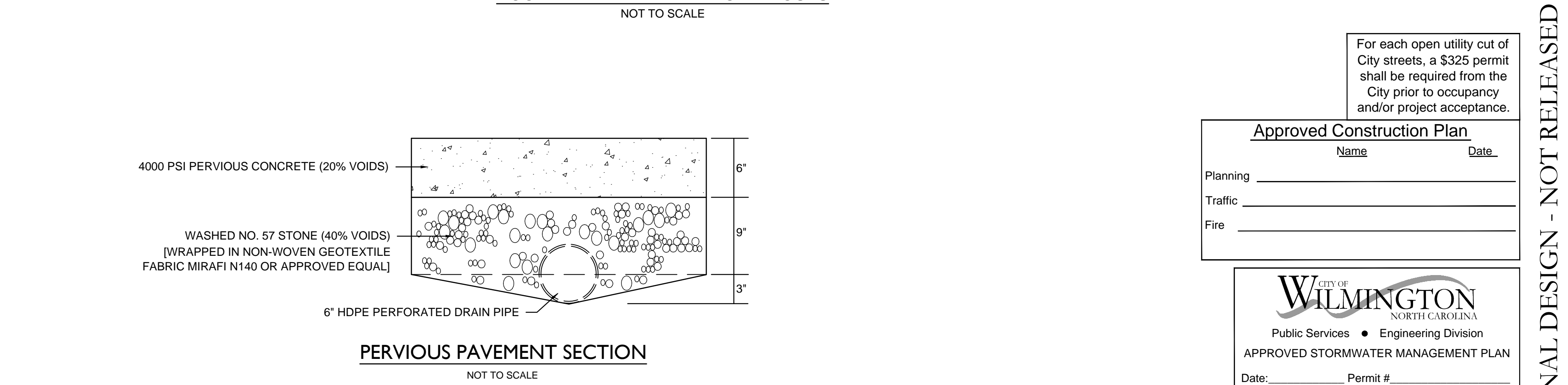
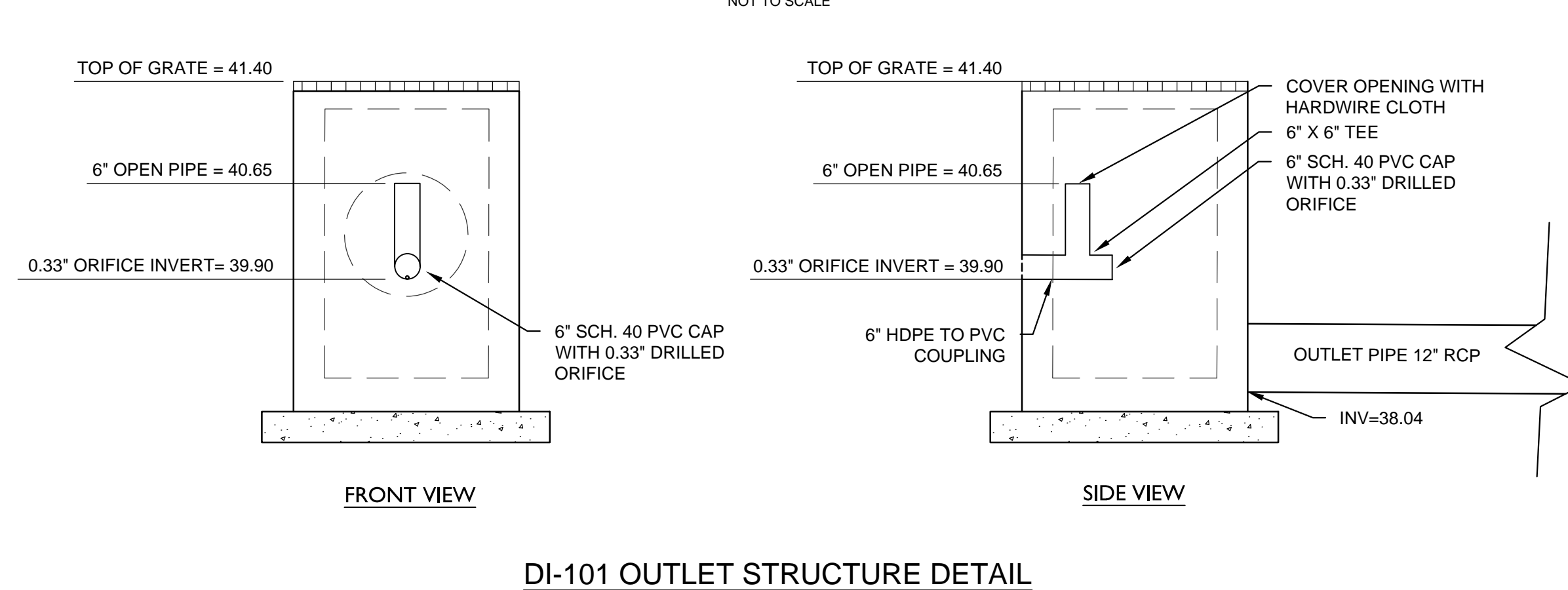
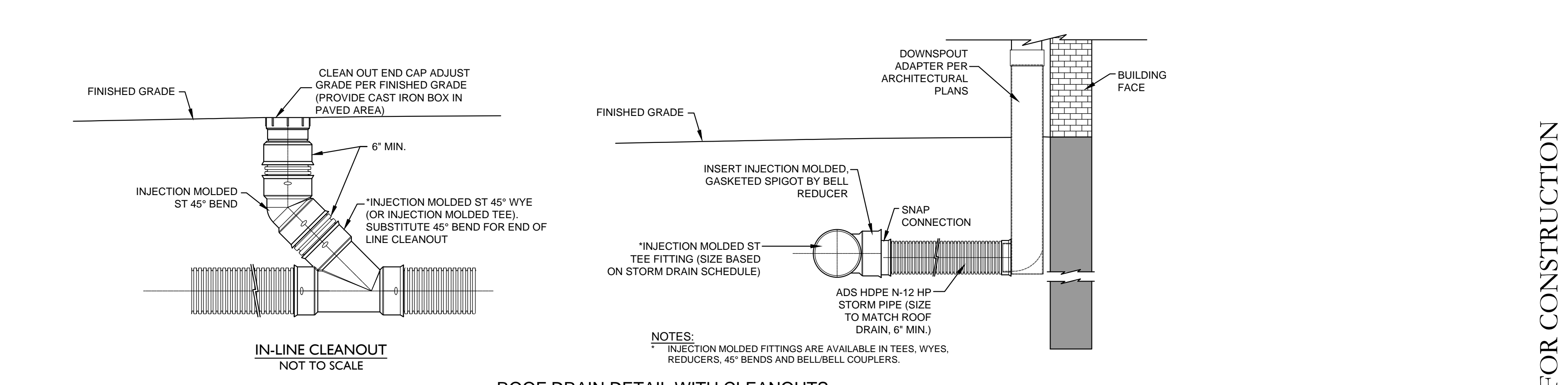
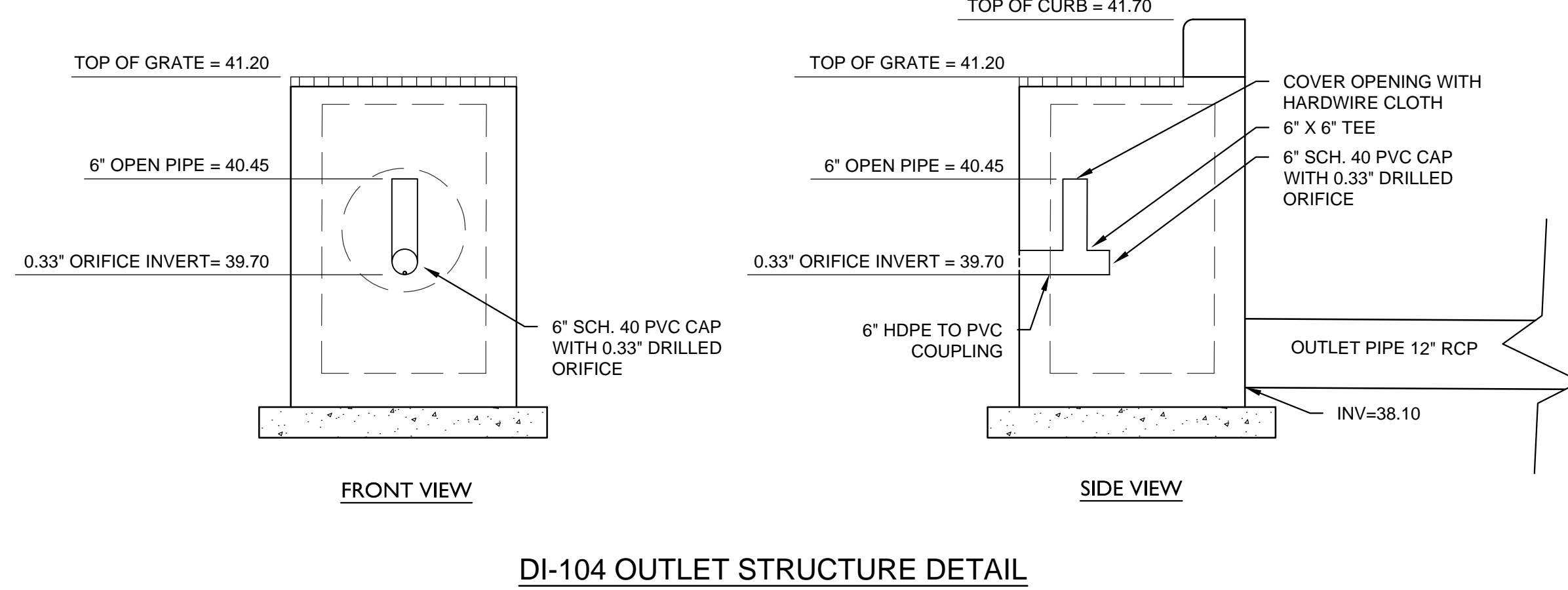
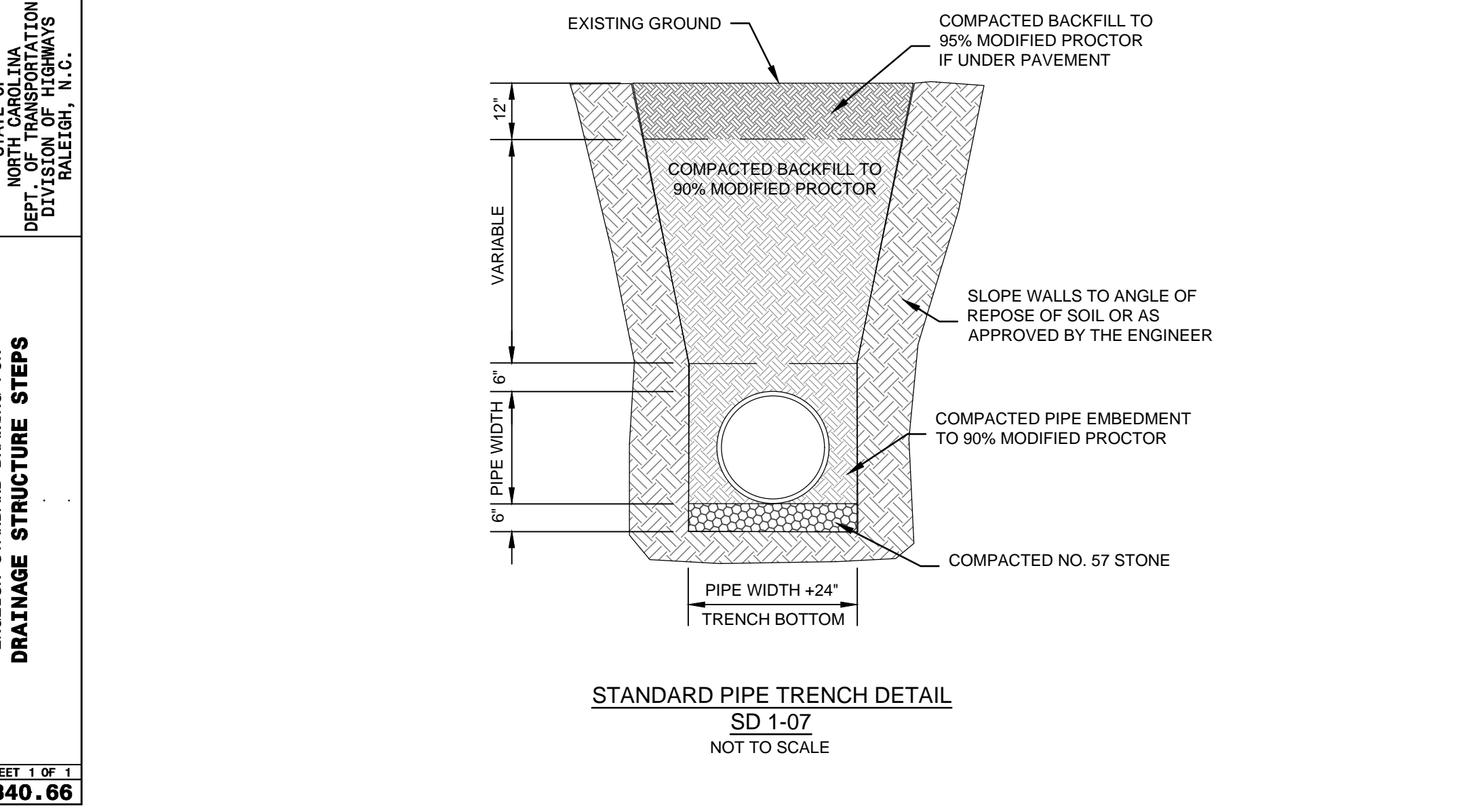
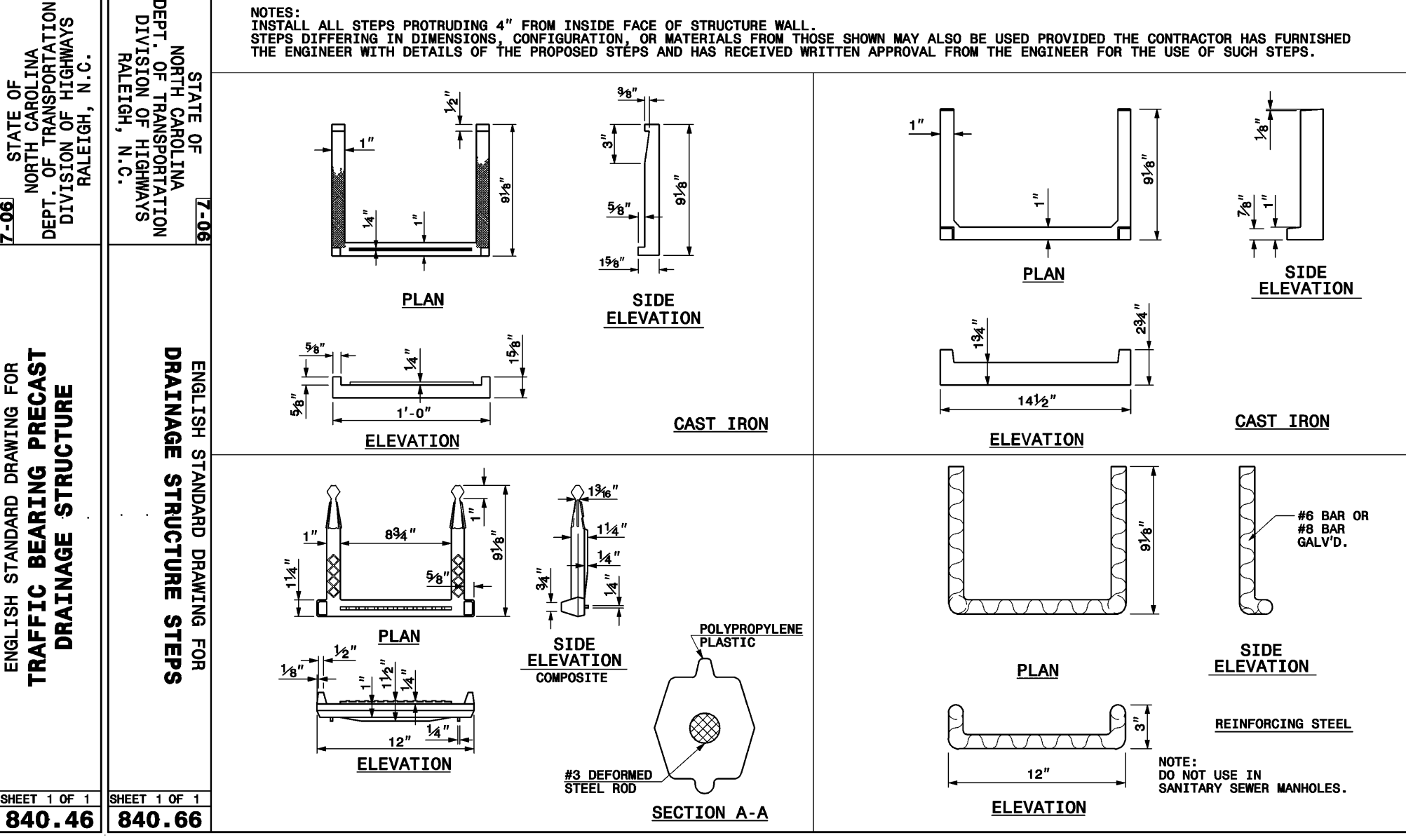
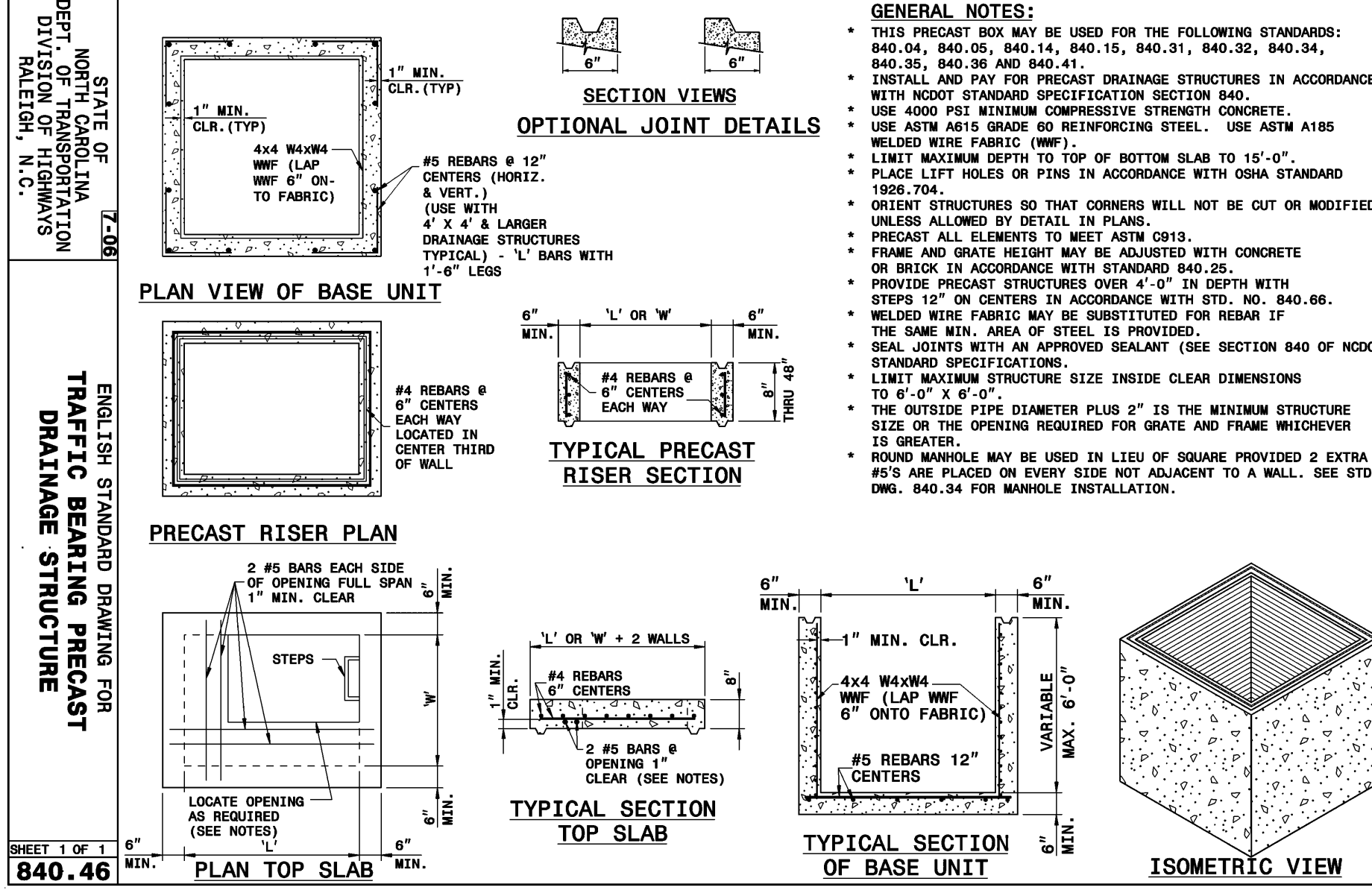
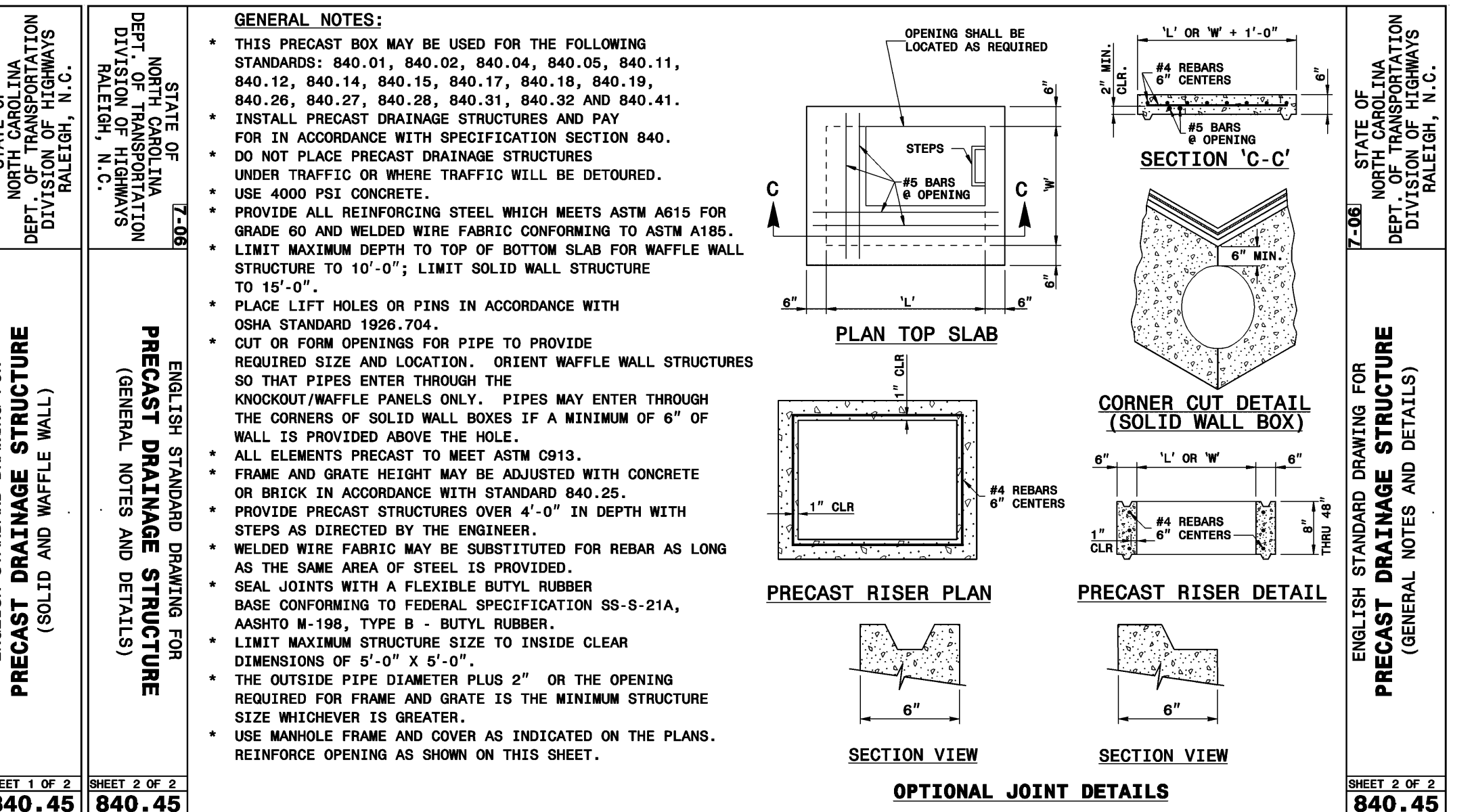
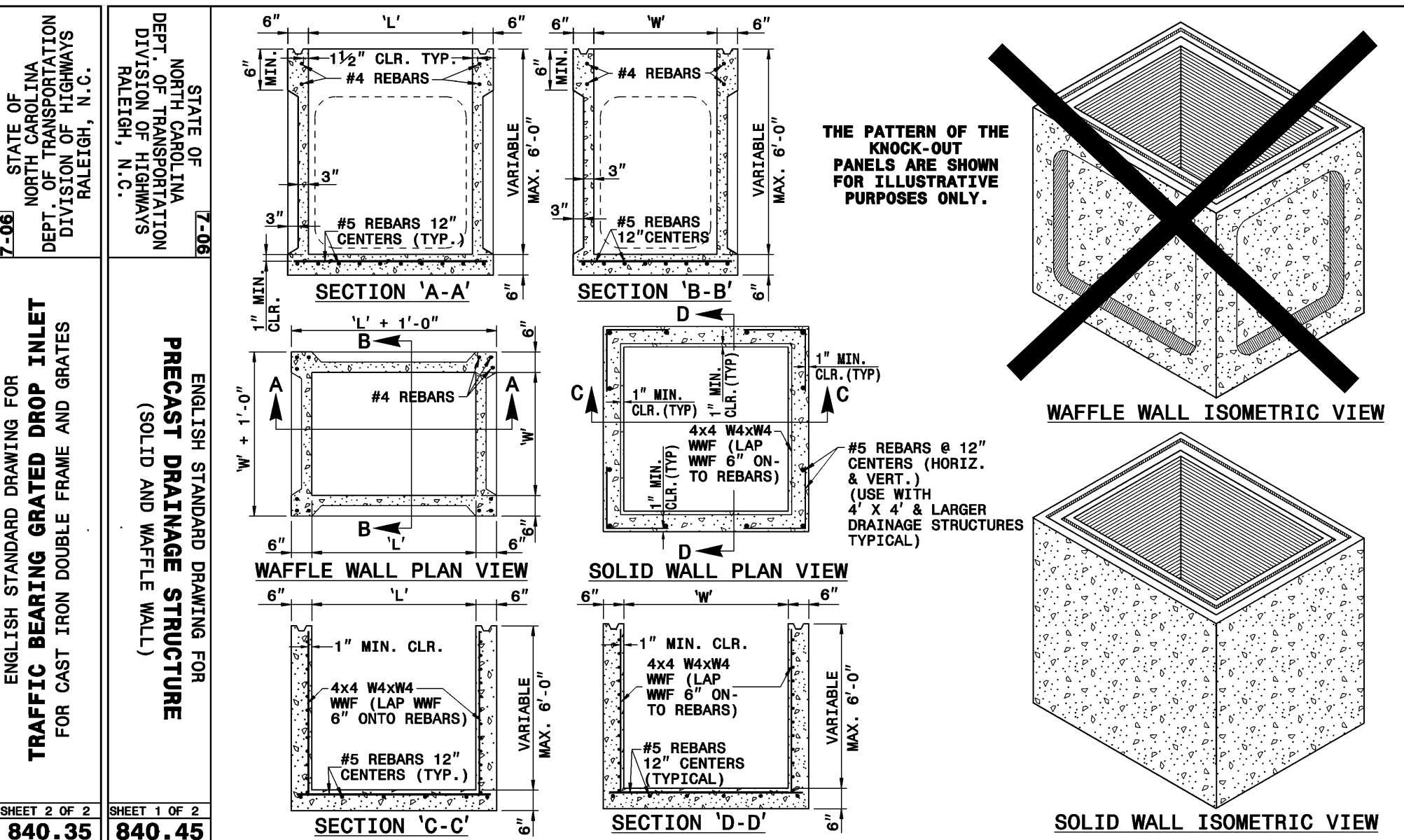
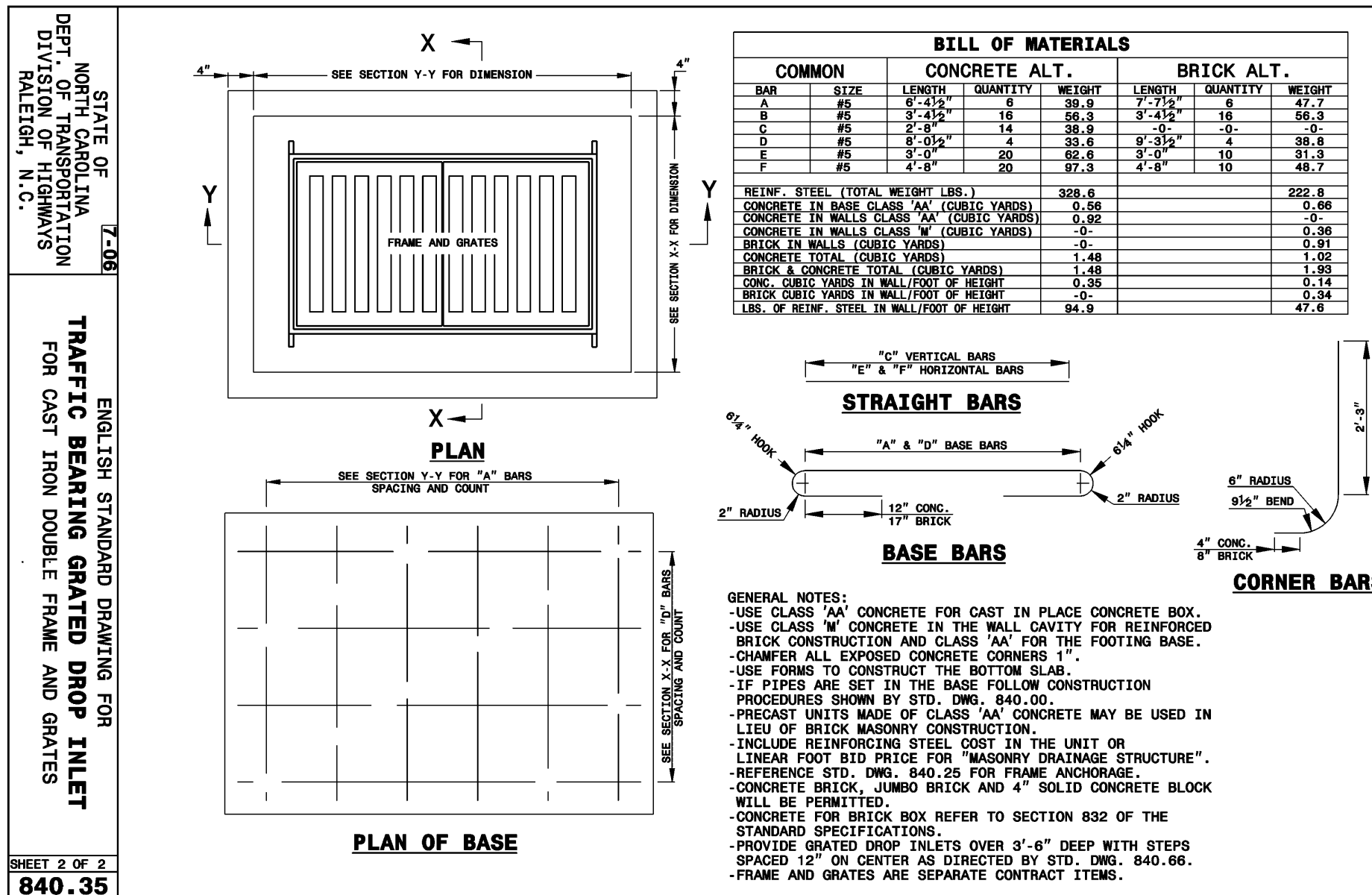
DATE: 06/17/2019
AS NOTED
DESIGNED: _____
DRAWN: _____
CHECKED: _____

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-5.0

PEI JOB#: 18474.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

DATE: 05/17/2010
 AS NEEDED
 DRAWN: ASR
 DESIGNED: ASR
 CHECKED: JRB

Professional Seal redacted on electronic copy per City of Wilmington Policy

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed 7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to disturb the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

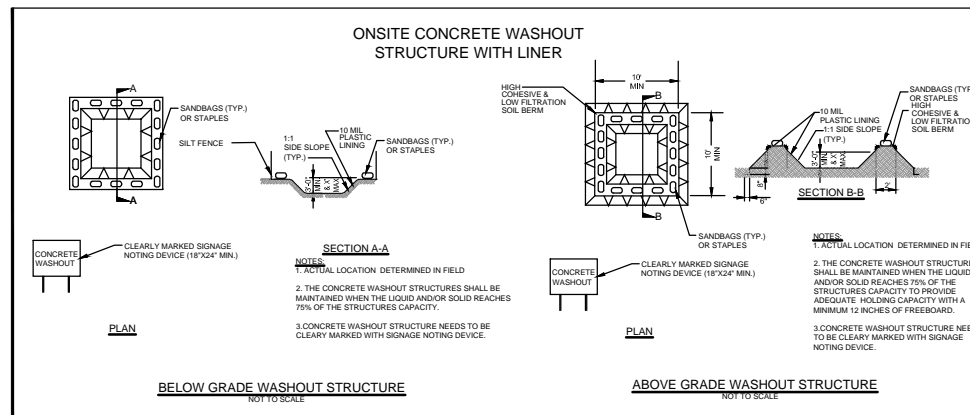
- Do not pump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

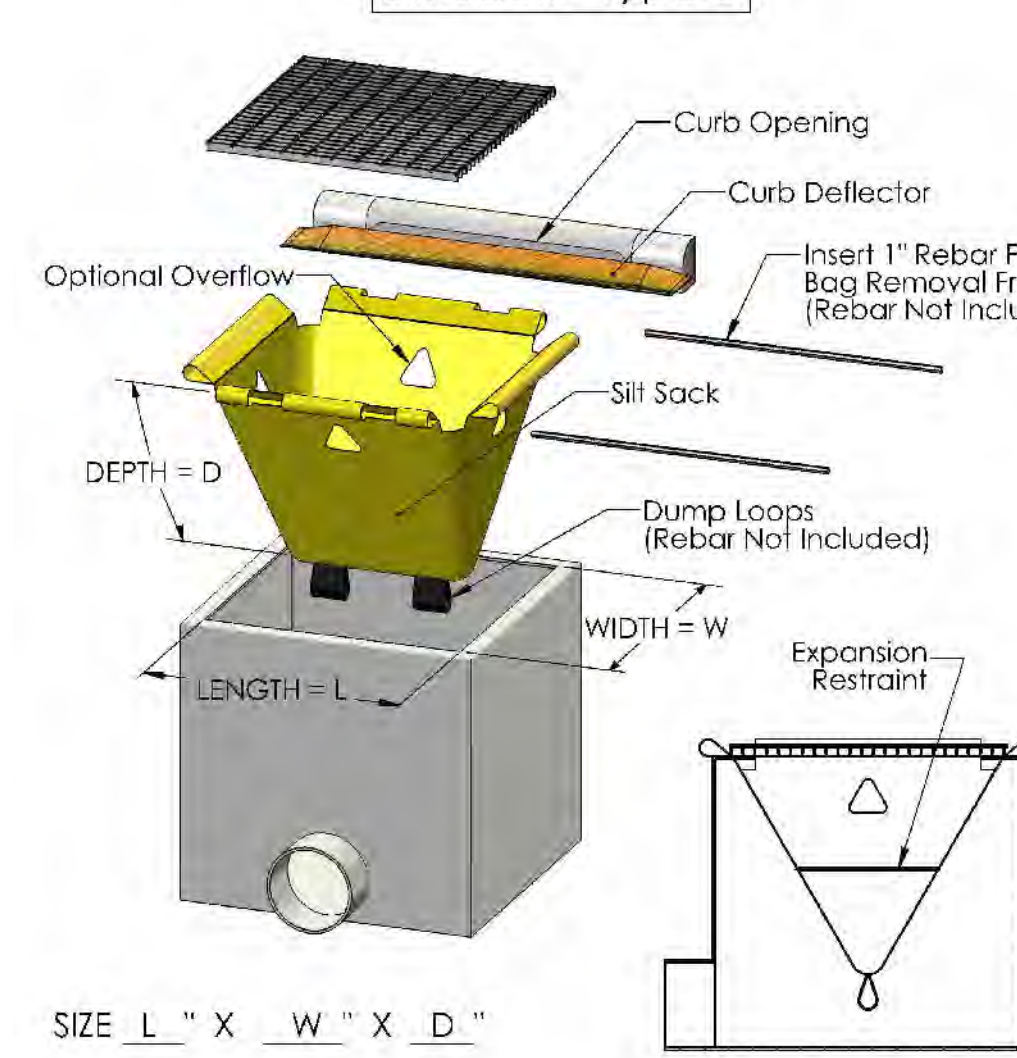
HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

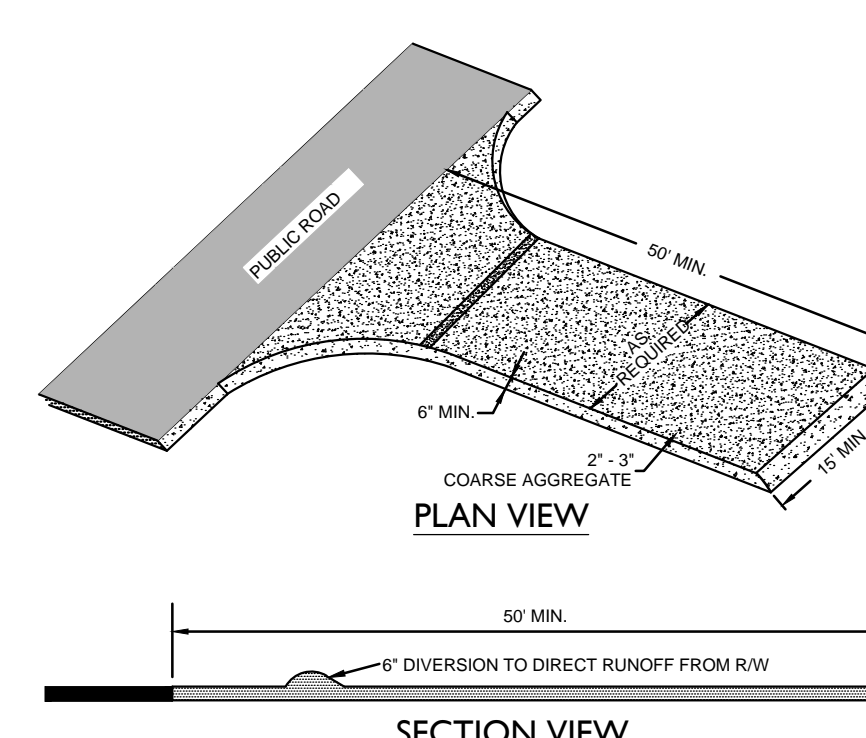
HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

Silt Sack - Type B



2831 Cardwell Road
Richmond, VA 23234
WWW.ACFENVIRONMENTAL.COM



TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE

SECTION C: REPORTING

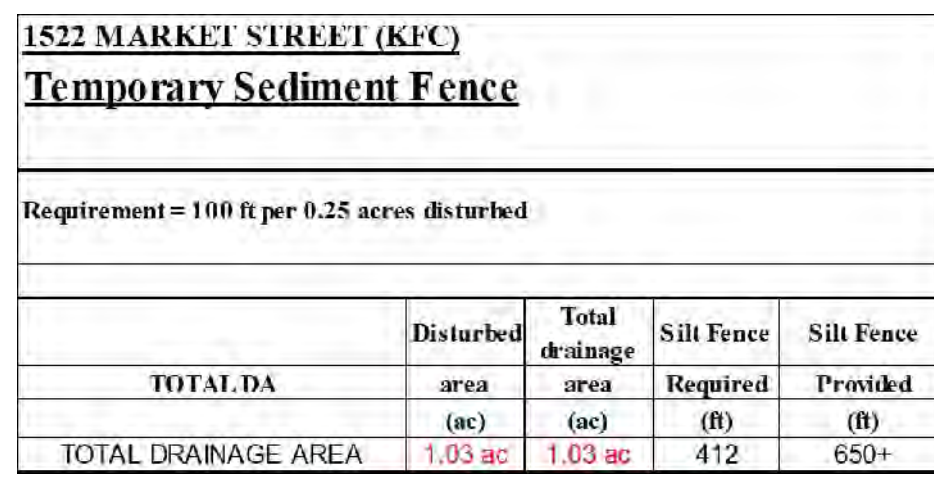
1. Occurrences that must be reported

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
 - Oil spills if:
 - They are 25 gallons or more.
 - They are less than 25 gallons but cannot be cleaned up within 24 hours.
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
 - Anticipated bypasses and unanticipated bypasses.
 - Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

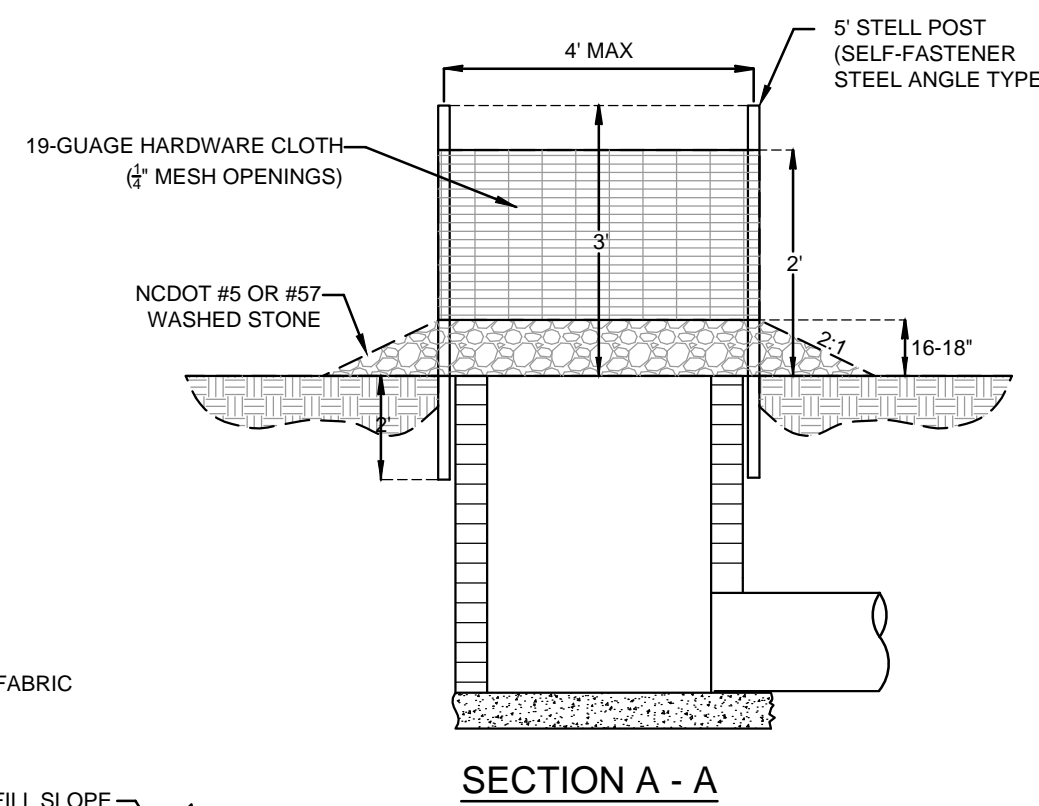
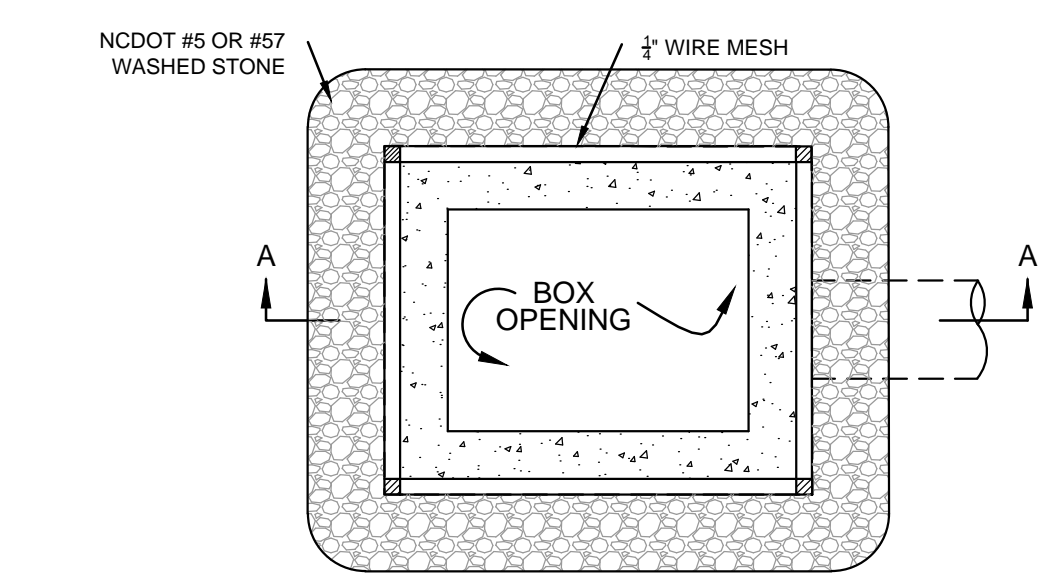
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(h)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.



GUIDELINES FOR TEMPORARY SILT FENCE DETAIL

NOT TO SCALE



NOTE:
FOR CURB INLETS AND DROP INLETS

INLET PROTECTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the measures inspected. Date and time of the inspection. Name of the person performing the inspection. Indication of whether the measures were operating properly. Description of maintenance needs for the measure. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	<ol style="list-style-type: none"> Identification of the discharge outfall inspected. Date and time of the inspection. Name of the person performing the inspection. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. Indication of visible sediment leaving the site. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: <ol style="list-style-type: none"> Actions taken to clean up or stabilize the sediment that has left the site limits. Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: <ol style="list-style-type: none"> Description, evidence and date of corrective actions taken, and Records of the required reports to the appropriate Division Regional Office per Part II, Section C, item (2)(b) of this permit.
(6) Ground stabilization measures	After each phase of grading	<ol style="list-style-type: none"> The phase of grading (installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&S Plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&S Measure has been installed and does not significantly deviate from the location, dimensions and relative elevations shown on the approved E&S Plan.	Initial and date each E&S Measure on a copy of the approved E&S Plan or complete, date and sign an inspection report that lists each E&S Measure shown on the approved E&S Plan. This documentation is required upon the initial installation of the E&S Measures or if the E&S Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S Plan.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S Measures.	Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation

In addition to the E&S Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41.]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
 - Oil spills if:
 - They are 25 gallons or more.
 - They are less than 25 gallons but cannot be cleaned up within 24 hours.
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
 - Anticipated bypasses and unanticipated bypasses.
 - Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(h)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

REVISIONS:
1. RESPONSE TO TRC AND CDFIA COMMENTS 07/16/19

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURINBURG, NC 28552

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

DETAILS
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST:

DRAWING INFORMATION:
DATE: 05/17/2019
AS NOTED
DESIGNED:
DRAWN:
CHECKED:

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-5.3
PEI JOB#: 18474.PE

D	X	W
12"	1'-4"	7'-4"
15"	1'-7"	7'-7"
18"	1'-10"	7'-10"
24"	2'-6"	8'-6"
30"	3'-1"	9'-1"
36"	3'-8"	9'-8"
42"	4'-5"	10'-5"
48"	5'-0"	11'-0"

NOTE:
1. FOR REFERENCE, SEE NCDOT STANDARD 654-01

DETAIL NO. NCDOT-PAVEMENT REPAIRS	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. WS-3
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

COMPACTION NOTES:
1. ALL ZONES: 95% STD EFFORT PER ASTM D698, EXCEPT AS STATED IN COMPACTION NOTE 2.
2. 12" SUBGRADE UNDER PAVEMENT: 98% STD EFFORT PER ASTM D698.

DETAIL NO. PIPE EMBEDMENT TYPES	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. WS-4
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. TRACER WIRE SHALL PENETRATE VALVE BOX THROUGH DRILLED HOLE APPROX. 6" BELOW GRADE WITH MINIMUM 2'-FEET EXTRA LENGTH COILED IN THE VALVE BOX. SEE WS-6.

DETAIL NO. VALVE DETAIL	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. WS-5
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. TRACER WIRE SHALL BE #10 COPPER SOLID CORE COPPER WIRE WITH GAS AND OIL RESISTANT INSULATION AND DIRECT BURY RATING.
2. WIRE SHALL BE STRAPPED TO ALL PVC PIPING WITH ADHESIVE TAPE AT 12 FOOT INTERVALS.
3. SECURE WIRE TO ALL TEE AND CROSS FITTINGS WITH ADHESIVE TAPE.
4. ALL SPLICES IN THE WIRE SHALL BE MADE WITH 3M DBR DIRECT BURY SPLICE KITS.

DETAIL NO. TRACER WIRE DETAIL	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. WS-6
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. ALL SEWER SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE TYPE 316.
- CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
- WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
- UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
- A MINIMUM OF 10' OF MAIN LINE SHALL BE REPLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.

DETAIL NO. STANDARD NOTES	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. WS-14
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
2. ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.
3. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
4. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO MAIN.

DETAIL NO. SEWER SERVICE CONNECTION - SHORT SIDE	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. S-9
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
2. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.

DETAIL NO. SEWER SERVICE CONNECTION - TYPICAL CLEAN-OUT	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. S-13
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. MUST BE MIN. 36" AWAY FROM ANY ELECTRICAL PANEL.
2. VALVE REQUIRED DOWNSTREAM OF BACKFLOW ASSEMBLY.
3. VERTICAL INSTALLATION SHALL BE DESIGNED AND SUBMITTED TO CFPWA EMD FOR APPROVAL.
4. LOCATE AS NEAR TO RIGHT-OF-WAY AS POSSIBLE.
5. MUST COMPLETE CFPWA'S BACKFLOW INSTALLATION FORM. CONTACT COMMUNITY COMPLIANCE AT 910-332-6558 OR COMMUNITY.COMPLIANCE@CFPIA.ORG.
6. ONLY IN-LINE TESTABLE ASSEMBLIES APPROVED BY THE USC FOUNDATION FOR CROSS CONNECTION CONTROL OR ASSE SHALL BE ACCEPTED.

OUTDOOR HORIZONTAL INSTALLATION

DETAIL NO. REDUCED PRESSURE PRINCIPLE ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. EM-1
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE THE RIGHT-OF-WAY LINE.
2. SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
3. METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
4. NON-TRAFFIC METER BOXES SHALL BE PER CFPWA STANDARD MATERIAL.
5. 3" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.
6. 1 1/2" METER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
7. 2" METER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
8. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
9. SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL NO. COMMERCIAL WATER SERVICE - 1 1/2 OR 2-INCH METERS	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. W-3
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

NOTES:
1. NO JOINT SHALL BE INSTALLED BETWEEN THE MAIN SERVICE TAP AND THE METER STOP. ALL SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN.
2. SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
3. METER BOXES SUBJECT TO TRAFFIC LOADS SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
4. WATER SERVICE LINE SHALL TERMINATE 18" WITHIN RIGHT-OF-WAY LINE.
5. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
6. SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL NO. SINGLE WATER SERVICE CONNECTION - TYPICAL SHORT-SIDE CONNECTION	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO. W-1
SCALE: NOT TO SCALE	CFPIA DETAIL DATE: 01/01/19	SHEET NO. -
CFPIA REV. NO. 1	Stewardship Sustainability Service	

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Professional Seal redacted on electronic copy per City of Wilmington Policy

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

PEI JOB#: 18474.PE

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS

CONCEPTUAL LAYOUT: _____

PRELIMINARY LAYOUT: _____

RELEASED FOR CONST: _____

DRAWING INFORMATION

DATE: 05/17/2019

AS NOTED ASR

DESIGNED: _____

DRAWN: _____

CHECKED: _____

REVISIONS:

07/16/19

1. RESPONSE TO TRC AND CFPWA COMMENTS

CLIENT INFORMATION:

SCOTTISH FOOD SYSTEMS, INC.

P.O. BOX 1469

LAURINBURG, NC 28552

PARAMOUNT ENGINEERING

122 Cinema Drive

Wilmington, North Carolina 28403

(910) 791-6707 (O) (910) 791-6760 (F)

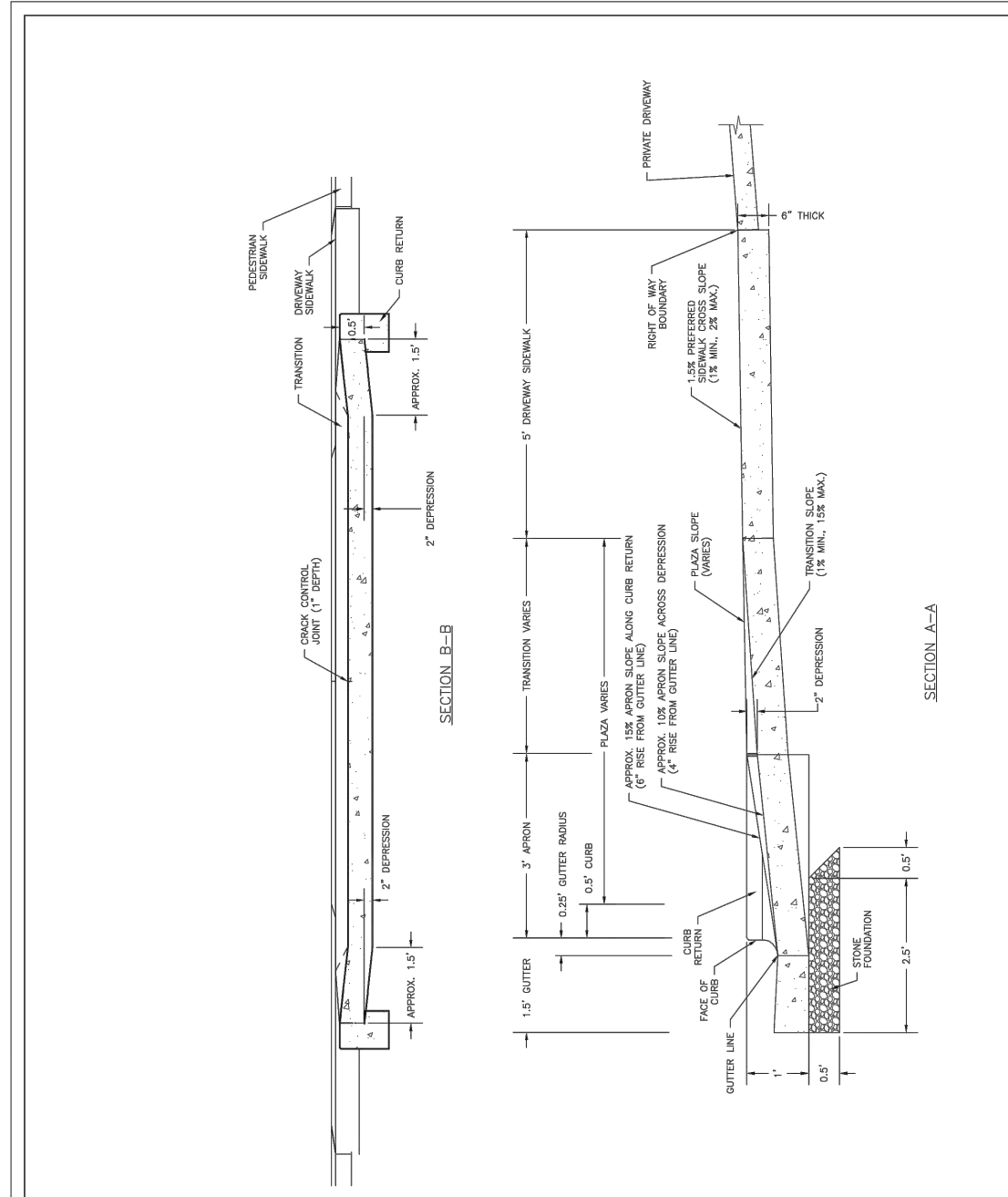
NC License #: C-2946

DETAILS

KFC MARKET STREET

5120 MARKET STREET

WILMINGTON, NORTH CAROLINA

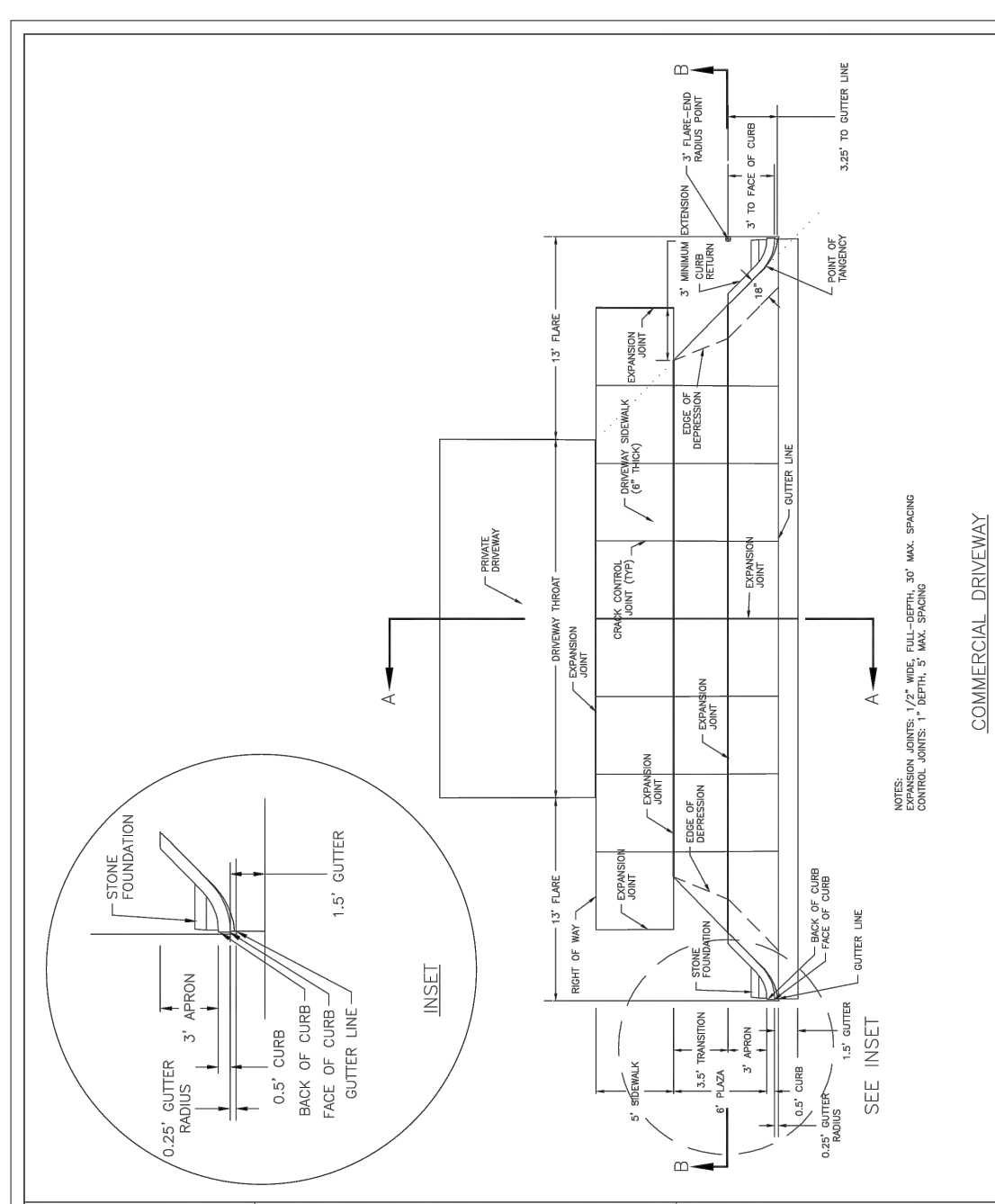


STANDARD DETAIL
 DATE: FEB. 14, 2017
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB)
 2 of 2

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7827

SD 3-03.4



STANDARD DETAIL
 DATE: FEB. 14, 2017
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)
 1 of 2

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
 (910) 341-7827

SD 3-03.3

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

C-5.5

PEI JOB#: 18474.PE

Professional Seal redacted on electronic copy per City of Wilmington Policy

DETAILS

KFC MARKET STREET
 5120 MARKET STREET
 WILMINGTON, NORTH CAROLINA

PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

CLIENT INFORMATION:

SCOTTISH FOOD SYSTEMS, INC.
 P.O. BOX 1469
 LAURINBURG, NC 28532

REVISIONS:

NO.	DATE	DESCRIPTION
1.	07/16/19	RESPONSE TO TRC AND CPFLA COMMENTS



LOCATION MAP
SCALE: 1"=500'

SITE INFORMATION
OWNER INFORMATION: MPV WILMINGTON, LLC
2400 SOUTH BLVD., SUITE 300
CHARLOTTE, NC 28203

APPLICANT INFORMATION: SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURENBURG, NC 28532

PROJECT ADDRESS: 5122 MARKET STREET
WILMINGTON, NC 28405

TAX PARCEL IDENTIFICATION #: R04915-002-002-000
RECORDED DEED BOOK: DB6169, PG 361

CURRENT ZONING: RB - REGIONAL BUSINESS
EXISTING USE: 601-FINANCE BANKS
PROPOSED USE: RESTAURANT - FAST FOOD

TOTAL SITE AREA: 0.89 ACRES +/- (38,768 SF +/-)

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313800 K, DATED AUGUST 28, 2018

THERE IS NO FEMA 100-YEAR FLOODPLAIN LINE WITHIN THE PROJECT AREA

CAMA LAND USE CLASSIFICATION: URBAN

CONSERVATION DISTRICT: NO CONSERVATION RESOURCES EXIST ON SITE

SIGHT DISTANCE TRIANGLE NOTES
ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE)

UNDERGROUND INFRASTRUCTURE NOTES
GENERAL LOCATIONS AND SIZES OF WATER, SEWER, STORM DRAIN LINES, FIRE HYDRANTS AND SEWER LINES ARE SHOWN ON THE PLAN

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
 - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 - NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
 - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
 - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
 - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND.
 - IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
 - THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
 - ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

LEGEND:

- PROPOSED TREE PROTECTION FENCE (SEE DETAIL "A" THIS SHEET)
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED (SEE TREE REMOVAL WORKSHEET, THIS SHEET)
- PROPOSED PRIMARY STREETYARD BUFFER
- PROPOSED SECONDARY STREETYARD BUFFER
- EXISTING TREE IN STREET YARD (SY) TO REMAIN AND COUNT TOWARDS STREET YARD PLANTING REQMNTS
- SF OF SHADE PROVIDED PER TREE AT PARKING FACILITY
- SF OF PLANTER AREA IN PARKING FACILITY
- FOUNDATION PLANTING REQUIREMENTS (SF OF PLANTER AREA (LETTER INDICATES SIDE OF BLDG.))
- STREET YARD PLANTING REQMNTS SF OF PLANTER AREA IN STREET YARD

KFC Market Street Tree Preservation Credits

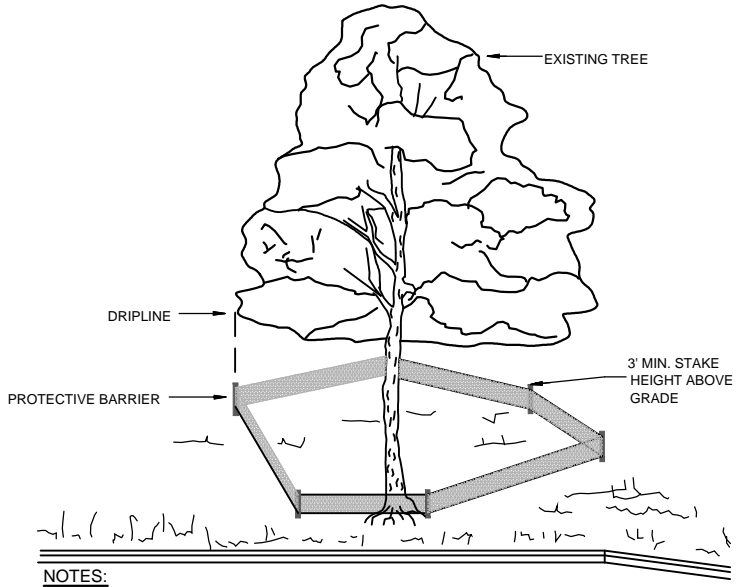
Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit	Mitigation Credit for Preserved Trees (# of trees)
1	8	WALNUT	8	2	1
1	12	WALNUT	12	3	3
1	14	HOLLY	14	3	3
1	14	MAGNOLIA	14	3	3
1	24	WILLOW OAK	24	4	4
1	28	MAGNOLIA	28	4.6	5
1	30	PEAR	30	5	5
1	32	LOBLOLLY PINE	32	5.3	5
1	40	LIVE OAK	40	6.6	7
1	42	LIVE OAK	42	7	7
TOTAL CALIPER INCHES RETAINED ON SITE			244		
				TOTAL TREE CREDITS	43

Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for "diameter at breast height"

NC DENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



- NOTES:**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
 - NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING AREA.
 - INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION.
 - FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER.
 - DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.
 - CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER.

LANDSCAPE CALCULATIONS

STREET YARD - SEC. 18-447	REQUIRED	PROVIDED
PRIMARY STREET YARD (MARKET STREET) 170 LF - 30 LF DWY = 140 LF X 25 = 3,500 SF	3,500 SF	3,535.9 SF
1 CANOPY TREE / 600 SF	5.8	6
6 SHRUBS / 100 SF	34.9	35
SECONDARY STREET YARD (NEW CENTER DR.) 219 LF - 24 DWY = 195 LF X 12.5 = 2,437.5 SF	2,437.5 SF	2,495 SF
1 CANOPY TREE / 600 SF	4	1 EXISTING / 3 NEW
6 SHRUBS / 100 SF	24	24
FOUNDATION PLANTING - SEC. 18-490		
NORTH SIDE: 36.5 LF X 22' HIGH = 803' 12" = 96.4 SF	96.4 SF	97 SF
SOUTH SIDE: NONE REQUIRED / DRIVE THRU	0 SF	0 SF
EAST SIDE: NONE REQUIRED / DRIVE THRU	0 SF	0 SF
WEST SIDE: 89.2 LF X 22' HIGH = 1,962.4' 12" = 235.5 SF	235.5 SF	238 SF
PARKING LOT LANDSCAPING		
INTERIOR AREA LANDSCAPING - SEC. 18-481 17,182 SF * 20% SHADING	3,436.4 SF	3,888.5 SF
(6) TREES @ 530.25 SF EACH = 3,181.5 SF		
(2) EXISTING TREES @ 353.5 EACH = 707 SF		
(SEE PLAN FOR SF OF SHADE ASSIGNED FOR EACH TREE IN PARKING/VEHICULAR AREAS)		
PARKING AREA SCREENING - SEC. 18-483 PARKING AREA SCREENING AT NEW CENTER DRIVE SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AND FIVE (5) FEET IN WIDTH		

KFC Market Street Tree Removal & Required Mitigation

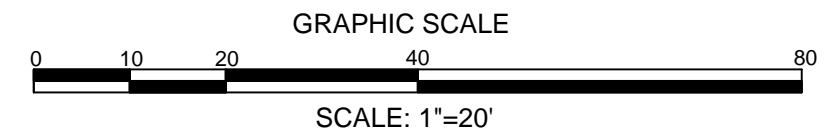
Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster Trunks	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	Category	% Mitigation	Significant	Total Qty. of Mitigation Trees Required
1	15		CRAPE MYRTLE	FLOWERING	15	1	100%	YES	10
1	12		OAK	HARDWOOD	12	1	100%	NO	4
1	18		BRADFORD PEAR	FLOWERING	18	4	25%	YES	3
Total Significant Trees Mitigation Required:									17
Total Tree Credits (See Tree Save Worksheet):									43
Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):									26

Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for "diameter at breast height"
Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements.

REGULATED & SIGNIFICANT TREES

PLANT SCHEDULE

SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	CAR BET	8	Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	2.5' cal	
	QV7	6	Quercus virginiana Southern Live Oak	2.5' CAL	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING
	AR	69	Azalea 'Red Ruffles' Red Ruffles Azalea	3 gal	
	BM	19	Buxus m. 'Wintergreen' Wintergreen Boxwood (3' x 3')	3 gal	
	LJ2	27	Ligustrum 'Recurvifolium' Wax leaf ligustrum	3' HT min.	48" O.C.
	LORR	19	Loropetalum c. 'Ruby' Ruby Loropetalum	3 gal - 18" ht	
	PM2	23	Podocarpus m. maki Shrubby Yew Podocarpus	3 gal	Growth to 8' tall (min.)
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	TA	315	Trachelospermum a. 'Asiatic' Asiatic Jasmine	4" pot	18" o.c.



REVISIONS:

1/21/19	TRC - RESPONSE TO COMMENTS
7/16/19	ZJ - RESPONSE TO TRC AND CPWA COMMENTS

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
P.O. BOX 1469
LAURENBURG, NC 28532

PARAMOUNT ENGINEERING & PLANNING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

LANDSCAPE PLAN
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS:
CONCEPTUAL LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:
DATE: 1/26/19
SCALE: 1"=20'
DRAWN BY: MB, SP, PC, JTB
CHECKED:

Professional Seal redacted on electronic copy per City of Wilmington Policy

L-1.0
PEI JOB#: 18474.PE

PARAMOUNT

ENGINEERING, INC.

July 16, 2019

City of Wilmington Planning
305 Chestnut Street
PO Box 1810
Wilmington, NC 28402
Attn: Jeff Walton

RE: KFC Market Street

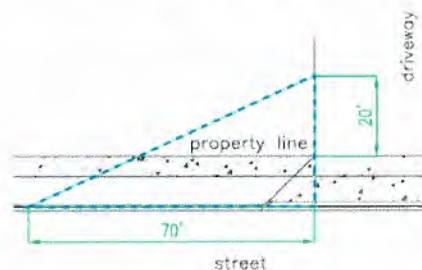
Dear Mr. Walton:

On behalf of Scottish Food Systems, LLC, we are submitting a response to the TRC comments listed on the City's Protrack website. Please find the comments listed below with our response provided in **bold**.

City Staff Member Comments [Mitesh Baxi]

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Proposed driveway shall be City-standard ramp-type. Show appropriate City standard detail(s) on plan. [SD 3-03.3 & 3-03.4 CofWTSSM]
RESPONSE: Standard details have been added to the plan. See Sheet C-5.5.
2. Dimension the driveway flares.
RESPONSE: Driveway flares have been dimensioned. See Sheet C-2.0.
3. Show the label for the Key note. 28 'EXISTING DRIVEWAY TO BE ABANDON', on the site plan.
RESPONSE: Key note 28 has been added to the site plan. See Sheet C-2.0.
4. Provide sidewalk detail SD 3-10 on the plan.
RESPONSE: Detail has been added to the plan. See Sheet C-5.0.
5. Provide curbing detail SD 3-11 on the plan.
RESPONSE: Detail has been added to the plan. See Sheet C-5.0.
6. Site distance triangles are implemented incorrectly. Show and apply the City's 20'x70' sight distance triangle at each driveway on the site plan as per below reference image [Sec.18-529(c) (3) CofW LDC].
RESPONSE: Site distance triangles have been revised. See Sheet C-2.0.



TECHNICAL STANDARDS – Parking:

7. Locate Key note. 16 'BUMPER OVERHANG', on the site plan.

RESPONSE: Key note 16 has been added to the site plan. See Sheet C-2.0.

TECHNICAL STANDARDS – Barrier Free Design:

8. Key note. 5 indicates two accessible parking spaces, while the site plan shows only one. Locate the second parking space on the site plan. Show all the required elements for that space.

RESPONSE: The second accessible space has been added with required elements. See Sheet C-2.0.

9. Show the typical handicap sign detail on the plan as per ADA and City standards. [Sheets A1 of 5 and A2 of 5, CofW Sign Specification]

<https://www.wilmingtonnc.gov/home/showdocument?id=3940>

RESPONSE: Details have been added as requested. See Sheet C-5.0.

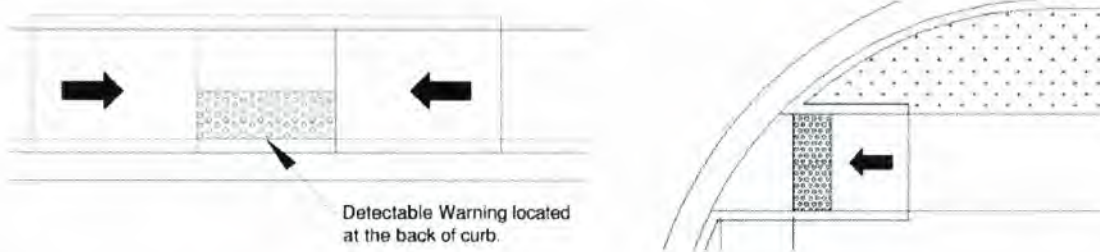
10. ADA ramp(s) shall be installed as per SD 3-09 of CofWTSSM. Please revise the location of domes.

RESPONSE: Dome locations have been revised per the detail. See Sheet C-2.0.

11. On parallel curb ramps, detectable warning surfaces shall be placed on the turning space at the flush transition. Detectable warning domes must be installed at the end of each parallel or perpendicular curb ramps before entering drive aisle/pavement surface. [City/ADA standards]. At other locations detectable warning domes shall be installed at the back of a curb. Please revise where applicable.

RESPONSE: Dome locations have been revised per the detail. See Sheet C-2.0.

Below not to scale images are for your reference only.



City Staff Member Comments [Christopher J. Walker]

- Please add the following Standard Note to the plan per the new 2018 NC Fire Code effect Jan. 1, 2019
 - Contractor shall submit a Radio Signal Strength Study that demonstrates that existing emergency response radio signal levels meet the requirements of Section 510 of the 2018 NC Fire Code.

RESPONSE: The note has been added to the plan. See Sheet C-1.0.

City Staff Member Comments [Bill McDow]

TRAFFIC IMPACT:

- ❖ As previously requested the site experience a change of use from a Drive-In Bank, LUC 912, to Fast Food Restaurant with Drive Thru, LUC 934. Additionally, the building size was increased by 1,226 SF, (from 2,062 SF to 3,288 SF).

RESPONSE: Please see the enclosed Trip Generation Memorandum.

- ❖ Provide the estimated trip generation for the project, using the original site trips, and newly proposed site trips with the Total Daily Trips, AM Peak Hour trips and PM Peak Hour Trips.

RESPONSE: Please see the enclosed Trip Generation Memorandum.

- ❖ Please provide the trip generation per the Institute of Transportation Engineers (ite) Trip Generation 10th Edition, 2017, the estimated Trip Generation for the proposed **LIST PROPOSED USE + INTENSITY** (ite land use code xxx) is xx total driveway volume in the AM peak hours, xx total driveway volume in the PM peak hours and xx average weekday 2-way driveway volume.

RESPONSE: Please see the enclosed Trip Generation Memorandum.

TECHNICAL STANDARDS – ACCESS (driveway, sidewalk, and sight distance):

1. Provide the elevations or the slope and cross slope for the sidewalk connection between the site and the public sidewalk.

RESPONSE: Elevations have been added to the sidewalk. See Sheet C-3.0.

2. Please add the sidewalk on the southern side of the driveway on New Centre Drive.
3. **RESPONSE: Sidewalk has been added as requested. See Sheet C-2.0.**

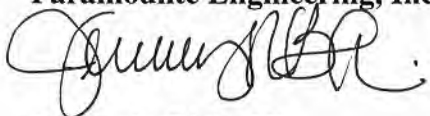
TECHNICAL STANDARDS – PARKING:

4. The area adjacent to the Drive Thru appears to limit the available turning radius to less than 25'. Please show a turning movement analysis of a Fire Engine on this site location. Note: the City of Wilmington uses a 48.1' vehicle length for the Fire Engine Template.

RESPONSE: Please see the enclosed AutoTURN Figure which demonstrates the swept path analysis of a 48.1' City of Wilmington Fire Engine Template.

Thank you for your attention to this matter. If you have any questions regarding any of this information or require additional material, please feel free to call. Thank you for your time and effort.

Sincerely,
Paramounte Engineering, Inc.



Jeremy R. Blair, PE

Enclosure: as noted



December 7, 2018

Frederic Royal
 Wilmington Metropolitan Planning Organization (WMPO)
 City of Wilmington
 305 Chestnut Street, 4th Floor
 Wilmington, NC 28401

RE: Trip Generation Memorandum – RBC Bank Site, Wilmington, NC
 DAVENPORT Project Number 180250

Dear Mr. Royal:

This memorandum is to provide information concerning traffic that will be generated by the proposed development, a fast food restaurant with drive-thru, which is a re-development of the formerly RBC Bank located at the southeast corner of the Market Street at New Centre Drive intersection. The existing RBC Bank building consists of approximately 2,062 square feet. The proposed fast food restaurant will consist of approximately 3,300 square feet of building.

The Trip Generation Manual published by the Institute of Transportation Engineers (ITE), contains tables, rates, and equations that provide projected volumes based on specific land uses. The trip generation potential of both sites was computed based on the 10th edition of the ITE Trip Generation Manual.

ITE Trip Generation											
RBC Bank Site											
Average Weekday Driveway Volumes					24 Hour	AM Peak Hour			PM Peak Hour		
					Two-Way	Enter	Exit	Total	Enter	Exit	Total
<u>Proposed Land Use</u>	<u>ITE Land Code</u>	<u>Size</u>		<u>Method/Type</u>	<u>Volume</u>	<u>Enter</u>	<u>Exit</u>	<u>Total</u>	<u>Enter</u>	<u>Exit</u>	<u>Total</u>
Fast Food with Drive-Thru	934	3.30	1000 GFA	Adjacent /Rate	971				56	52	108
<u>Current Land Use</u>	<u>ITE Land Code</u>	<u>Size</u>		<u>Method/Type</u>	<u>Volume</u>	<u>Enter</u>	<u>Exit</u>	<u>Total</u>	<u>Enter</u>	<u>Exit</u>	<u>Total</u>
Drive-In Bank	912	2.06	1000 GFA	Adjacent /Rate	206	11	8	19	21	21	42
Before/After Comparison - Net Increase in Total Trips					765	-11	-8	-19	35	31	66

*Fast Food w/ Drive-Thru is not open in the AM peak and does not serve breakfast

The proposed Fast Food restaurant will result in a net increase of 1,238 square feet of building with an associated increase in trips as tabulated above. Please note that the fast food restaurant will not be open in the AM peak. The existing versus proposed trip generation indicates that the re-development of the property will have a minimal increase in future projected site trips as compared to the existing bank land-use. As shown, the increase in projected future traffic volumes for the Fast Food with Drive-Thru re-development project are below the City/WMPO/NCDOT threshold requirements for preparation of a Traffic Impact Analysis (TIA).

Based on the before/after comparison of trip generation information and minimal net increase in projected future traffic volumes provided above, please consider this a formal request for a variance from the City/WMPO/NCDOT TIA requirement for the RBC Bank Site re-development project.



If you need additional information or have any questions, please feel free to contact me at 910-251-8912.

Sincerely,

Daniel R. Cumbo

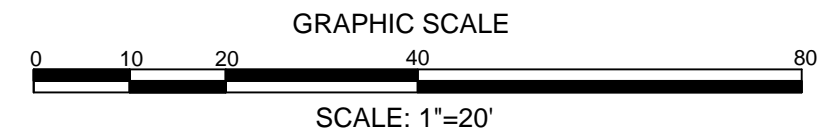
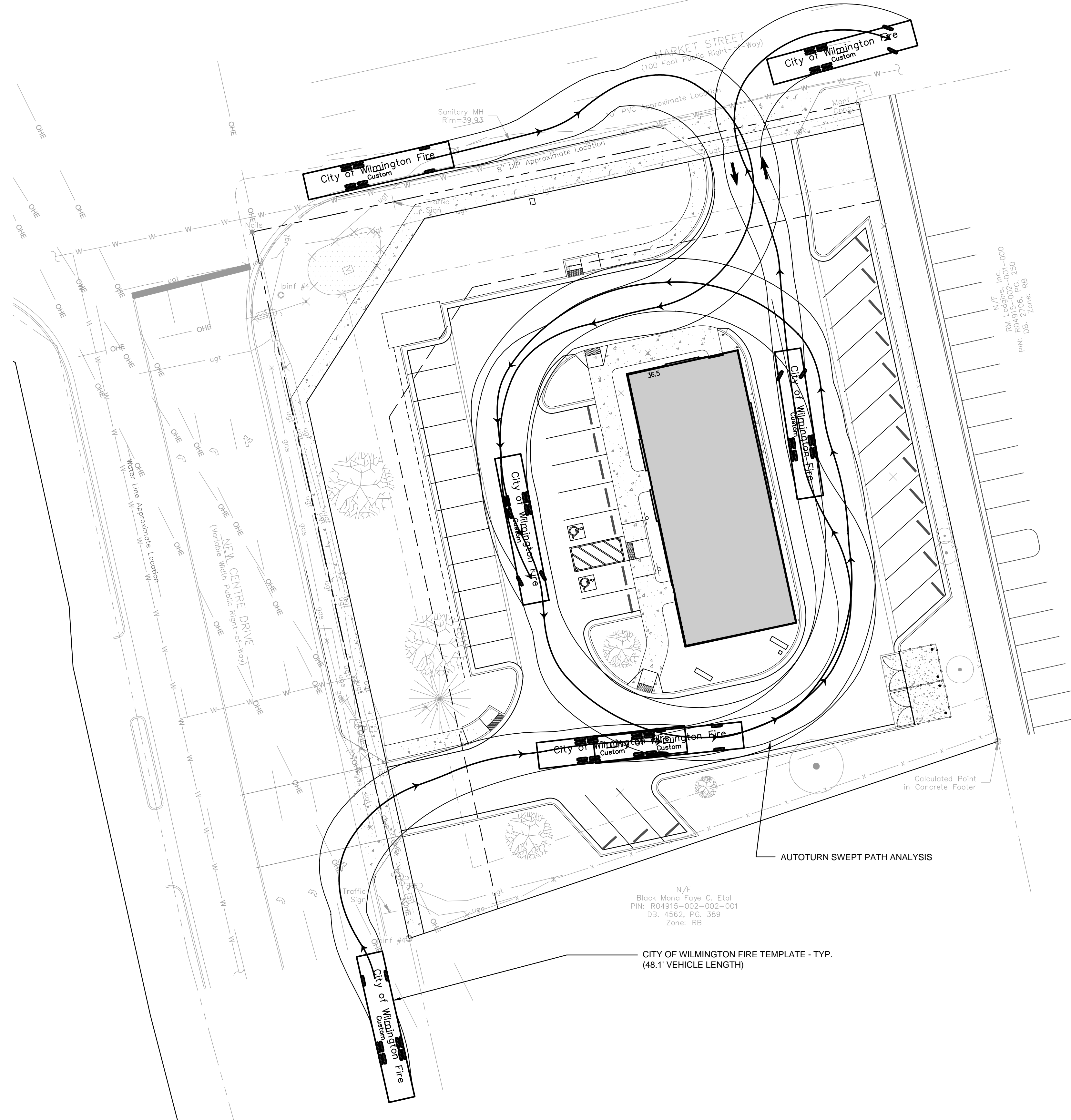
Daniel R. Cumbo, PE
Vice President

Enclosures: ITE Trip Generation Summary Output
Site Plan

cc: File 180250



LOCATION MAP
SCALE: 1"=500'



NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISIONS:

CLIENT INFORMATION:
SCOTTISH FOOD SYSTEMS, INC.
 P.O. BOX 1469
 LAURINBURG, NC 28532

PARAMOUNTE
 ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

AutoTURN Figure
KFC MARKET STREET
5120 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS	CONCEPTUAL LAYOUT: _____
	FINAL DESIGN: _____
	RELEASED FOR CONSTRUCTION: _____
DRAWING INFORMATION	DATE: 7/16/19
	SCALE: 1"=20'
	DRAWN BY: _____
	CHECKED: _____

SEAL

FIG-1

PEI JOB#: 18474.PE

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

